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Lichfield
District Council

**District Council House, Frog Lane
Lichfield, Staffordshire WS136YU**

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Thursday, 28th March 2024

Dear Sir/Madam

CABINET

A meeting of the Cabinet has been arranged to take place on **TUESDAY, 9TH APRIL, 2024** at **6.00 PM IN THE COMMITTEE ROOM** District Council House, Lichfield to consider the following business.

Access to The Committee Room is via the Members' Entrance.

Yours faithfully

Kerry Dove
Chief Operating Officer

To: Members of Cabinet

Councillors Cox, Farrell, Pullen (Chairman), Silvester-Hall, A Smith, Strachan and M Wilcox



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AGENDA

1. Apologies for Absence
2. Declarations of Interest
3. Design Code for the Birmingham Road Site 3 - 66
4. **Lichfield District Design Code Supplementary Planning Document** 67 - 80

Due to the size of the document, Appendix A is split into two documents. You can access them by clicking on the following hyperlinks: [Appendix A – Lichfield District Design Code](#) and [Appendix A - Baseline Report](#).

5. Delivering Temporary Accommodation for Vulnerable Adults 81 - 86
6. Skateboard Facility at Burntwood Leisure Centre 87 - 92
7. Lichfield District 2050 Strategy 93 - 154
8. Securing an Anchor Food and Beverage Tenant for the Cinema Complex (public) 155 - 164
9. **Exclusion of Public and Press**

RESOLVED: "That as publicity would be prejudicial to the public interest by reason of the confidential nature of the business to be transacted, the public and press be excluded from the meeting for the following items of business, which would involve the likely disclosure of exempt information as defined in Paragraph 3 of Part 1 of Schedule 12A of the Local Government Act 1972"

IN PRIVATE

10. Securing an Anchor Food and Beverage Tenant for the Cinema Complex (confidential) 165 - 182



DESIGN CODE FOR THE BIRMINGHAM ROAD SITE

Councillor Alex Farrell, Cabinet Member for Housing and Local Plan.



Lichfield
District Council

Date:	9 April 2024
Agenda Item:	3
Contact Officer:	John Smith Tracy Cross
Tel Number:	01543 308016 01543 308822
Email:	John.smith@lichfielddc.gov.uk Tracy.cross@lichfielddc.gov.uk
Key Decision?	YES
Local Ward Members	Stowe Ward – Cllr Hugh Ashton, Cllr Russ Bragger & Cllr Ann Hughes

CABINET

1. Executive Summary

- 1.1 The Birmingham Road Site (BRS) Design Code sets out a vision and key principles of the site-specific needs for Lichfield’s Birmingham Road Site.
- 1.2 Create Streets produced the Design Code following extensive ‘deep’ and ‘wide’ engagement with the public on the site. Between April 2022 and June 2022 Create Streets carried out online engagement using their Create Communities platform, receiving 5,747 responses. Between September 2022 and March 2023 Create Streets held three in-person events, holding discussions and surveying preferences with over 300 people, as well as placing posters for ‘drop-in’ comments at Lichfield District Council offices, and holding 12 in-depth stakeholder interviews.
- 1.3 Their public engagement produced a clear trend and a strong mandate from residents on their architectural preferences for respecting Lichfield’s distinct and high-quality existing built environment, using materials and features that ‘rhyme with’ its historic core. In surveys, the top eight most popular buildings in Lichfield were heritage buildings, while a design using a fine-grained street network received 81 per cent support in a visual preference comparison
- 1.4 The principles collected in local engagement formed the basis for the final design code. This code sets requirements for buildings and public realm to re-stitch Lichfield City Station to the historic core of Lichfield, creating new homes and shops in a beautiful, walkable and green network of streets. Residents were consulted on the finished code between September to November 2023. It received very positive feedback, following further online and in-person engagement, as well as stakeholder interviews.
- 1.5 The Design Code is structured in line with the National Model Design Code (NMDC) and will inform parts of the ‘area wide’ design code being produced for Lichfield District by Building Design Partnership (BDP).
- 1.6 Once adopted, the Design Code will be used to judge planning applications associated with the Birmingham Road Site.

2. Recommendations

- 2.1 That Cabinet recommends to Full Council to adopt the Design Code for the Birmingham Road Site (BRS).
- 2.2 That Cabinet recommends to Full Council that delegated authority is given to the Leader of the Council and Chief Executive to make minor changes to the BRS Design Code without referring to Council.

3. Background

- 3.1 In March 2022, the Council appointed Create Streets to engage the public genuinely with its ambitions for the design and development of the Birmingham Road Site, asking Lichfield residents to share their thoughts and help shape design ideas for new development proposals on Lichfield's key gateway site.
- 3.2 Create Streets specialises in working with local communities and residents, using evidence on what is locally liked to create places that are beautiful, sustainable and also popular with residents and neighbours. The Birmingham Road Site is a key area of the city and the council want to incorporate the views of the people who live in the district as part of any new development into a design code.
- 3.3 A design code is a recipe for a place. It is a series of specifications for new developments, streets and buildings, which direct how they will look and feel. Design codes ensure that standards and qualities in the built environment, backed by local communities through public engagement, are met by designers and professionals with new developments.
- 3.4 As the National Model Design Code (NMDC) states, design codes 'can provide a more specific steer on what is acceptable when they are visual and numerical, rather than relying on detailed policy wording, as well as being easier to engage with. They also give developers greater certainty about what may be acceptable when seeking planning permission.'
- 3.5 This Design Code (Appendix A) provides the parameters for development on BRS and is a highly visual document with clear '**musts**' and '**shoulds**':
 - Anything described as a '**must**' indicates mandatory design practices. Developments that do not abide by them will not be permitted.
 - Anything described as a '**should**', indicates design practices which are strongly encouraged due to the placemaking benefits that they will have for the neighbourhood. Where 'should' cannot be applied, justification **will** be required. Exceptions must be approved case-by-case.
- 3.6 In addition to the Codes 'musts' and 'shoulds', it is also clearly derivative of and structured following the National Model Design Code (NMDC) and follows the Office for Place criteria for effective coding; its informed by a clear place-based vision which is responsive to Lichfield's townscape and BRS's surrounding context; works in harmony with the masterplan and area-based design code being developed by Building Design Partnership (BDP); and gives clear visual guidance for 'what works round here' to discourage poor 'could be anywhere' development.
- 3.7 Core areas within the BRS Design Code that are referenced from the NMDC include:
 - *Context*: A brief overview of the sites historic and contemporary context, as well as its spatial qualities as distinct from other parts of Lichfield.
 - *Movement*: Proposals for the site's street network, street hierarchy, walking and cycling routes, parking and public transport.
 - *Built Form*: Proposals for the site's layout and block patterns, density, heights, building lines, building types and urban grain, fronts and backs, boundary walls.
 - *Identity*: House types, design principles, walls roofs, windows and doors, details and ornament, sustainable design and shopfronts.
 - *Public Space*: Street design, green spaces and play areas, street furniture, services and utilities.

- *Use:* outlining best approach to mixed uses, retail and leisure opportunities and community amenities.

- 3.8 Upon completion of a final draft of the BRS Design Code, additional consultation took place from September 2023 to October 2023, to test the Code against people’s expectations. Over 250 people attended the engagement events over two days, as well as the code being displayed in Lichfield District Council offices. The Design Code was well received by residents, visitors and community groups, which demonstrates that, the views of people throughout the consultation have been listened to and successfully translated into a Design Code that works for Lichfield. In person polling revealed 90% of respondents (21 responses) thought the housing designs were ‘highly appropriate’ for the site and 87% (16 responses) described the code’s overall vision as ‘highly appropriate’.
- 3.9 As referenced in paragraph 3.6, the BRS Design Code works in harmony with the area-based design code being developed by BDP for Lichfield district which was started in November 2022. Further information about the Lichfield district design code is available in relevant links section.

Alternative options	<ol style="list-style-type: none"> 1. Do Nothing – Without an adopted BRS Design Code the council would be fully dependent on the planning system to control the type of development for the site. 2. Start the process again to provide a different Design Code – it’s unlikely that such a process would create something different to the Design Code currently proposed, which has been subject to 18 months of consultation to help shape its content and is in line with National Model Design Code (NMDC).
Consultation	<ol style="list-style-type: none"> 1. Lichfield City Centre Masterplan – Member Task Group have scrutinised the BRS Design Code at length during its development and made many suggested amendments to help shape its content. 2. Create Streets produced this Design Code following extensive ‘deep’ and ‘wide’ engagement with the public about the site. Over 12 months of initial public consultation they gathered 5,747 online comments, 300 engagements during in-person events, conducted 12 stakeholder interviews and received 56 comments from the drop-in space at the Lichfield District Council offices 3. Their public engagement produced a clear trend and a strong mandate from residents on their architectural preferences for respecting Lichfield’s distinct and high-quality existing built environment, using materials and features that ‘rhyme with’ its historic core. 4. On completion, the code was shared with the public, with approximately 250 people attending two in-person events in November 2023. The code was also displayed in Lichfield District Council offices between November and December 2023. Written responses and interviews were also obtained with six stakeholders. 5. On completion, the Design Code was shared with the council’s internal professional teams who provided comments and queries. As a result, minor amendments were made to cycle storage facilities, adding a darker clay tile palette to the roof materials, adding some code on bin location and design and adding a code encouraging the use of wildlife measures such as bird boxes.
Financial implications	None the cost of the code is funded by Approved Budgets.
Approved by Section 151 Officer	Yes

Legal implications	1. None
Approved by Monitoring Officer	Yes

Contribution to the delivery of the strategic plan	<p>Develop prosperity to:</p> <ul style="list-style-type: none"> enhance the district for all invest in the future <p>Shape place to:</p> <ul style="list-style-type: none"> keep it clean, green and safe preserve the characteristics make sure sustainability and infrastructure needs are balanced <p>Enable people to:</p> <ul style="list-style-type: none"> collaborate and engage with us live healthy and active lives
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Equality, diversity and human rights implications	1. None
EIA logged by Equalities Officer	Copy provided for sign off

Crime & safety Issues	1. None
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Data assessment	<ol style="list-style-type: none"> On the Social Progress Index Stowe Ward sits at 20 out of 22 compared to other Wards within the district. By adopting the BRS Design Code, new development including housing within the Ward will be of the highest quality which in time will increase scoring for all 3 dimensions.
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Environmental impact (including climate change and biodiversity)	<ol style="list-style-type: none"> The Design Code has a section specific to nature with requirements to enhance: <ul style="list-style-type: none"> Green Infrastructure Species selection, and SuDS & Drainage These requirements will ensure that good quality design includes the natural environment at the earliest stage.
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GDPR / Privacy impact assessment	1. None
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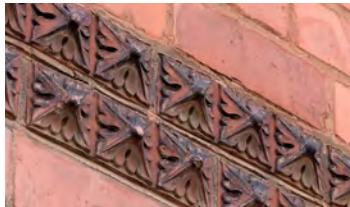
	Risk description & risk owner	Original score (RYG)	How we manage it	New score (RYG)
A	The Design Code does not deliver a high enough standard of quality design.	Risk: Yellow Likelihood: Yellow Impact: Yellow	The Design Code structured in line with the National Model Design Code (NMDC) and developed with feedback from residents and stakeholders in the District.	Risk: Yellow Likelihood: Green Impact: Yellow
B	Application of the Design Code means planned developments might not be viable and	Risk: Yellow Likelihood: Yellow	The Design Code is structured in such a way that building heights and residential densities could potentially increase beyond what would normally be permitted on	Risk: Yellow Likelihood: Green

	therefore the applicant makes a case to this effect as part of the planning application.	Impact: Yellow	the site, meaning that development viability is retained.	Impact: Yellow
C	Following planning permission being granted, the developer reneges on the commitment to Design Code principles.	Risk: Yellow Likelihood: Yellow Impact: Yellow	Planning permissions are normally granted subject to conditions that would ensure the planning enforcement team could intervene as with any other planning application.	Risk: Yellow Likelihood: Green Impact: Yellow
D				
E				

Background documents	Appendix A - Birmingham Road Site - Design Code
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Relevant web links	Birmingham Road Gateway - Lichfield District Built Environment (ldcdevelopments.co.uk) BDP Design Code Information - Local design code (lichfielddc.gov.uk)
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Lichfield: Birmingham Road Site Design Code





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Lichfield
District
Council





Introduction and Process

1 Introduction and Process

1.1 Purpose

A design code is a recipe for a place. It is a series of specifications for new developments, streets and buildings, which direct how they will look and feel.

This document is a toolkit that will enable the creation of sustainable and beautiful new development on Lichfield's Birmingham Road Site. It sets out a simple design methodology, the high-level principles and policies that guide development and provides a clear, visual design code for new streets, homes, commercial buildings, public realm, throughfares and parks on the site.

The designs set out in this code have been co-created with residents through extensive online and inperson engagement, ensuring that they have popular support and are appropriate for Lichfield, as well as being rooted in the character and heritage of the town.

1.2 How to use this code

The code is divided into different design themes, in line with the National Model Design Code (NMDC), with design parameters set out within.

There are two levels of design instruction to follow:

MUST Mandatory design practices and parameters that must be adhered to. Any proposals that do not meet these requirements will not be approved.

SHOULD Practices and parameters that should be adhered to whenever possible unless there are specific reasons for not doing so. Evidence will be required to demonstrate why the guidance cannot be adhered to and exceptions permitted on a case-by-case basis.

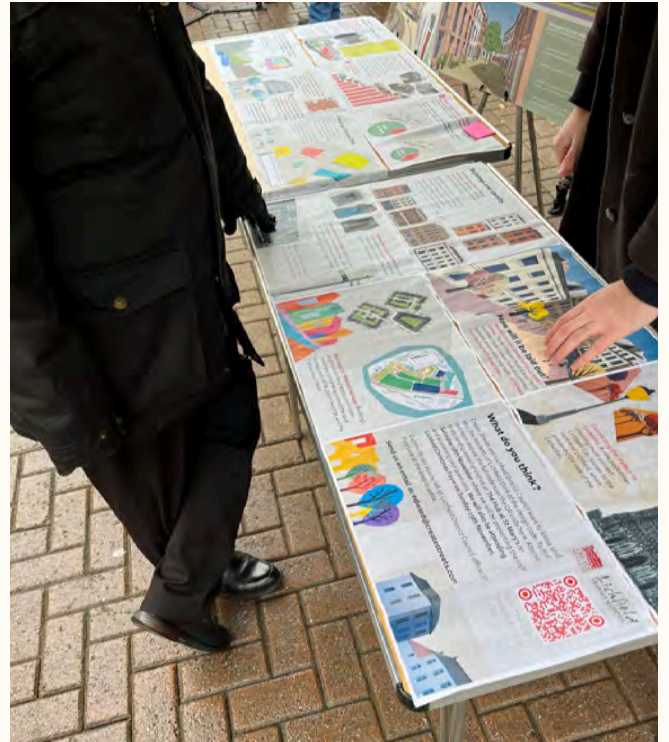
This language will be used throughout the document.

1.3 Engagement work underpins the code

This design code is built on extensive 'deep' and 'wide' engagement with the public on the Birmingham Road site and Lichfield more broadly. During this process we gathered 5,747 online comments, 300 engagements during in-person events, 12 stakeholder interviews and 56 comments from the 'drop-in' space located at the Lichfield District Council offices.

Our public engagement produced a clear trend and a strong mandate from residents on their architectural preferences for

respecting Lichfield's distinct and high-quality existing built environment, using materials and features that 'rhyme with' its historic core.



“This is an attractive design code, in keeping with Lichfield that will link the train station to the city.”

Lichfield Chamber of Trade and Commerce

“This is a highly positive approach, that will help create a diverse and rhythmic street frontage.”

Alasdair Brooks, Chief Executive of Reform Heritage and Lichfield resident

“This code is in sympathy with Lichfield using connected streets that are pro-pedestrian and pro-cycling.”

Beacon Street Area Residents' Association



1.4 Community feedback on the code

Following completion of the code, engagement was carried out with stakeholders and Lichfield residents, seeking local views and attitudes towards the code.

Design code material was published on Lichfield District Council's 'Together We' website, alongside an e-book and graphic material, outlining the making of the code, showing how resident engagement had played an important role in determining the design requirements contained within the code.

This graphic material was also put up as posters in the council offices. Residents were given the chance to give feedback through written email responses and simple survey questions that gauge the attitudes.

These posters, alongside hard copies of the full code were then also exhibited at The Hub at St Mary's, on 18.11.23, where approximately 60-80 people visited the stand. The code was also exhibited the following day at Lichfield Christmas Fayre on 19.11.23, where approximately 100-150 people visited the stand.

In total, the survey material received 158 responses from 6 survey questions. The questions were chosen as being some of the most salient features in the code that people would be most likely to respond to, such as buildings, street furniture and layout:

1. Based on the material you have seen do you feel this vision for the site is: Highly appropriate; Somewhat appropriate; Not appropriate; Very inappropriate?
2. Do you think the building illustrations shown are appropriate examples for the Birmingham Road Site?
3. Do you think the design should put pedestrians first and have little traffic?
4. Do you like the code's requirement to have a walkable network of streets?
5. The design code requires that windows do not use plastic materials and use timber or metal materials instead. Do you think this is appropriate for the site?
6. The design code requires that street furniture is made from either metal, timber or stone. Do you think this is appropriate for the site?

Summary

Discussions with the public and survey responses revealed attitudes towards the code were very positive. To the question 'how appropriate is the code's vision for the site', 87 per cent of 16 respondents thought it 'highly appropriate'.

The house types received 80 per cent approval (from 25

respondents) as being 'highly appropriate' for the site. Likewise a desire to see street furniture follow Lichfield's heritage was shown with 77 per cent (of 26 respondents) agreeing it was 'highly appropriate' for the site.

These results are highly positive and highlight the broad and frequently enthusiastic agreement with the design approach of this code. It also affirmed the consistent themes raised in prior engagement work that produced clear preferences and aspirations from residents for the Birmingham Road Site.¹



87%
of respondents
say the design
code is a 'highly
appropriate'
vision for the site

80%
of respondents
say the house
type illustrations
shown are
'highly
appropriate' for
the site



100% of respondents (27) agreed with the code's requirement to use a walkable network of streets, and that it should put pedestrians first, with little traffic.

Public comments

"This is fantastic, this is what I dreamed of. I'm so pleased to see something happening."

"Sustainable living, quintessentially British, the genius loci of Lichfield."

"A positive approach to building something sensitive to the environment and local people."

"It looks very nice and it's in keeping with the city."

"As long as it looks like this it will be great."

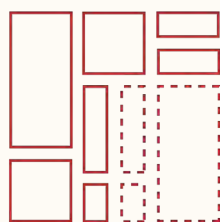
¹ See the supporting document *Engaging Lichfield: Birmingham Road Site masterplan key recommendations* for the full report on public design preferences.

1.5 Place principles for Birmingham Road



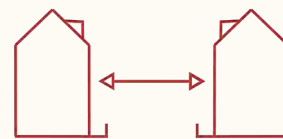
A Gateway to Lichfield

The key aspect of the Birmingham Road Site is its location immediately opposite Lichfield City Station. This site must reflect Lichfield's distinctiveness of place while offering an attractive and convenient connection to the centre that signposts the way through the very nature of its design.



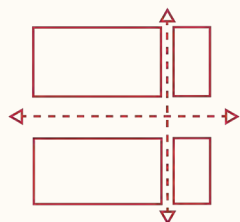
Stitched into Lichfield's core

New development must elegantly cohere with Lichfield's distinct Georgian pattern of fine-grain urbanism. Rather than an abrupt transition to out-of-character design such as large-scale retail boxes or tall towers, development must be an attractive continuation of Lichfield's historic core.



Clear fronts and backs

Blocks must have clear fronts and backs with clear boundaries between the public and private realms. Using this principle with attractive, active facades is the best way to create welcoming streets by reducing 'dead space' of blank frontages and anonymous empty public realm.



Permeability and grain

Blocks should be kept short to allow permeable, walkable streets. Blocks must be between 50-150m, and longer blocks should have alleyways through to allow pedestrian permeability. Plot frontages should be kept narrow, avoiding long blank facades and allowing a diversity and variety over short distances.



Gentle Density

Density must be 'gentle'. This is achieved by using typologies such as terraced townhouses and midrise mansion blocks that sit comfortably within conventional street and block patterns.



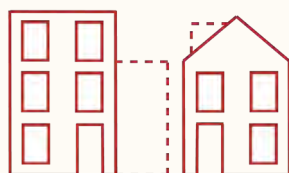
Mix it up

Mixed use buildings with flexible ground floors should be encouraged, with commercial uses where viable. A mix of tenure and home sizes will help create a vibrant community and provide for a variety of lifestyles and needs. There should be a mix of street types, with a range of functions and characteristics



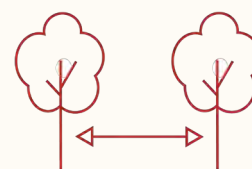
Walkability works

that the development must encourage walking and cycling. Streets must prioritise pedestrians and cyclists over vehicles, with some streets fully pedestrianised. Cars should be treated as guests who are welcome but not be allowed to dominate.



Flexible and Adaptable

To create resilient, successful, and sustainable neighbourhoods, we must allow them to flex and adapt over time as needs and wants change. A fine-grained block pattern with individual small plots can more easily adapt by allowing incremental changes. Peripheral parking can be adapted for other uses as demand decreases.



Green Infrastructure

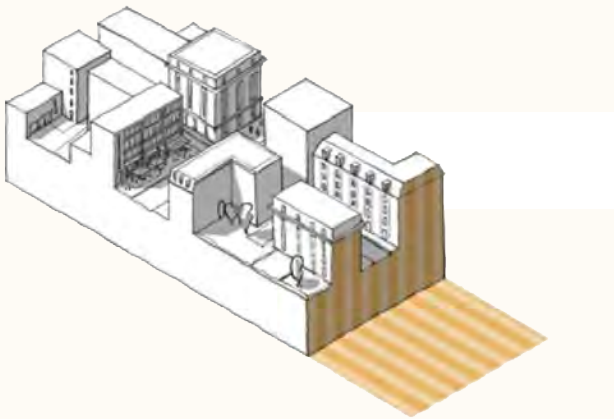
Greenery is not just a nicety; it is essential to creating sustainable places. Trees can provide shade, reduce flooding, clean the air, and make us happier and healthier. Greenery must be 'woven' into the fabric of places; little and often is key.

1.6 How this code sits with the Area Design Code

This Birmingham Road Site Design Code will complement the Lichfield Area Design Code. This design code for the Birmingham Road Site will take precedence over the area design code.

1.7 Area Type

The National Model Design Code outlines different area types that inform the appropriate kind of development in a given place. It has been agreed that the Birmingham Road Site is a 'Town/City centre' type and must be so treated.



Area type taken from the National Model Design Code

This type is deemed appropriate for the Birmingham Road Site, which sits opposite Lichfield City Station and is adjacent to the centre of Lichfield. The site must aim for a gentle density that can provide new homes and some retail space for Lichfield, while avoiding incoherent and inappropriate overdevelopment.

1.8 Using the code across multiple parcels

The design code is intended for use on a site that may have multiple developers, using different builders. This can be a positive by promoting a variety of buildings and form, but it is essential that development parcels are not siloed from each other. The site must achieve a coherent 'variety within a pattern'. **Lichfield District Council may stipulate certain uses of brick, lintel etc. contained in this code on certain plots, in order to ensure fine-grained, visual variety.**



Context

2 Context

2.1 The character of Lichfield and the Birmingham Road Site

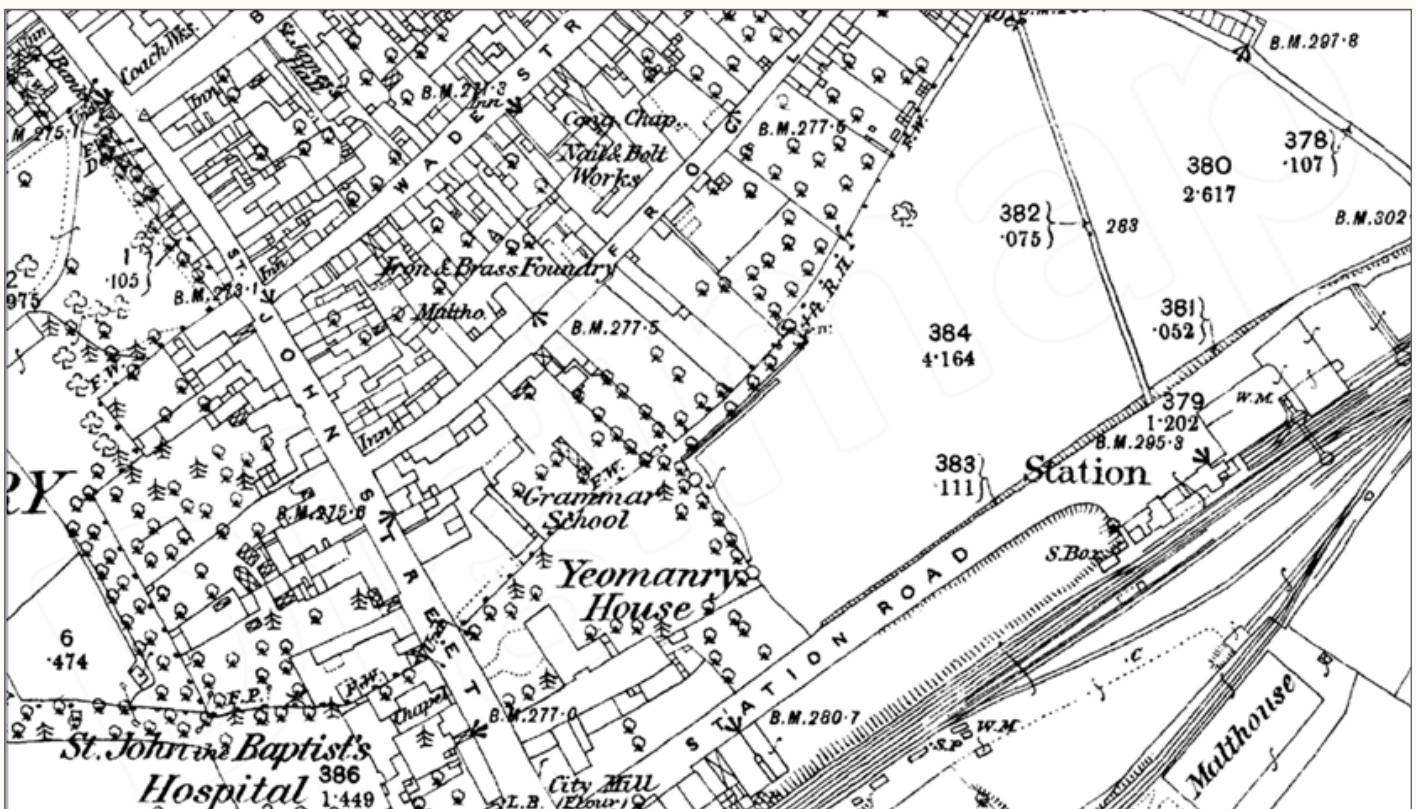
Lichfield's unique history has produced a distinct morphology which also defines the character of the Birmingham Road Site.¹ The standout feature of Lichfield today is its well preserved, high-quality Georgian townscape. This is largely due to its historic role as a major coaching stop right up to the industrial revolution. During this period it played a pivotal role in the British enlightenment, becoming a 'city of philosophers' which boasted a dynamic and urbane society. Unlike much of the midlands it later saw little industrial development. This had the fortuitous effect that it also suffered little bomb damage during World War II.

The result is a dense network of streets dominated by Georgian terraces and shops, punctuated by medieval and Victorian buildings. The centre also retains a medieval 'ladder plan', consisting of Market Street, Bore Street and Wade Street running parallel together. The features and materials that define Lichfield there are typically red bricks (usually

Flemish Bond), stucco (or render), masonry lintels, keystones and window surrounds, sash windows, and symmetrical bays on building facades.

This beautiful townscape is capped by the 77-metre spire of Lichfield Cathedral, which dominates the skyline, with its two smaller spires (one of only three cathedrals in the UK to have three spires). The combination of the Georgian townscape, capped by the three spires dominates Lichfield's urban identity. Conserving and respecting these views is a major concern of residents.

The Birmingham Road Site occupies an interesting position as Lichfield's historic edge. Despite Lichfield's overwhelmingly Georgian features, the area is an important medieval site. A medieval dyke ran along the site's north, part of a possible castle. Travellers arriving after the city gates had closed were often accommodated in The Hospital of St John without The Barrs, which survives today as a Grade I listed building, notable for its distinct 12 metre Tudor chimneys.



Birmingham Road Site in the 1880s.

1. Excellent histories of the city can be found in works such as *A History of Lichfield*, by Chris Upton, and in planning documents such as *The Lichfield City Conservation Area Appraisal*.



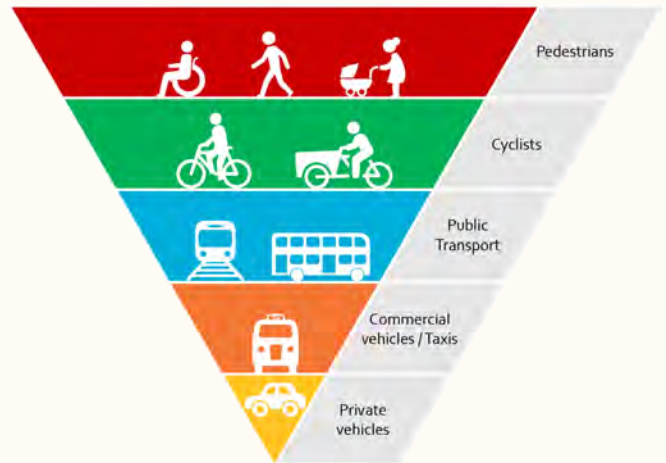
Movement

3 Movement

3.1 Birmingham Road Site as a 'gateway from Lichfield City Station'

Public and stakeholder engagement showed people consistently recognised the importance of the site as a 'gateway' to Lichfield. The site must meet people's expectations for Lichfield on arrival from the train station and provide a safe and comfortable entrance for pedestrians heading to the town.

- MUST** A new pedestrian and cycle crossing must be built in front of Lichfield City Station on Birmingham Road connecting the station to the site.
- MUST** New development on the Birmingham Road Site must form a legible, fine-grained pattern of streets that people arriving from the station can easily navigate towards the centre.
- MUST** The site must have a main traffic-free street linking the station to Castle Dyke and Lichfield's centre.



Street hierarchy of users

3.2 Street network

The street network is how our streets are laid out and interconnect. In most cases, the street network will outlive the buildings originally served.

A connected street network provides a variety of routes for moving around. It should be direct, making walking and cycling faster and more enjoyable.



Left: a connected street network; Right: a disconnected street network

- MUST** New development must have a permeable street network that 'plugs in' to the surrounding street network.
- MUST** Streets networks must be designed to put people first, in line with the user hierarchy below.
- MUST** Cul-de-sacs are not permitted.



Indicative example: A permeable network of local and tertiary streets must define the blocks and public spaces on the Birmingham Road Site.



Indicative example: here the blocks do not define routes and routes do not define the blocks, creating illegible space.

3.3 Street hierarchy

Streets can be categorised by their function in terms of movement (low traffic to high traffic) and their place function (how they are used by people). For the purposes of this code, there are three street types: traffic-free high streets, local streets and tertiary streets.

The Birmingham Road Site sits directly north of the busy primary road, Birmingham Road, and south of a dense network of local and tertiary streets. The site should be used to expand the network of these local and tertiary streets, not bring cars closer to the centre with busy primary or secondary roads.



The Birmingham Road site should continue Lichfield's network of local and tertiary streets, many of which are pedestrianised or traffic light.

MUST

The Birmingham Road Site is not suitable for a primary road and must not have one.

MUST

New streets must be in line with the street types in the hierarchy below.

MUST

The detailed design of streets must be completed in accordance with the latest version of Manual for Streets, not the Design Manual for Roads and Bridge (DMRB).

MUST

Streets must include street greenery such as trees, shrubs, or planters. Grass verges must not be used.

SHOULD

The Birmingham Road Site should consist primarily of traffic-light or traffic-free tertiary streets, connected to local streets

The street hierarchy, broadly in line with the National Model Design Code (NMDC), is as follows. Full descriptions of each street type are set out in Section 6.2 on street types:

- **Local Street:** Traffic-Free High Street
- **Local Street:** Residential Street
- **Tertiary Street A:** Residential Mews (with parking)
- **Tertiary Street B:** Residential Mews (no parking)
- **Tertiary Street C:** Alleys (no vehicle access)



A typical mews street, alleyway and local street.



Traffic-free high streets and pedestrianised routes in Lichfield.

3.4 Active Travel

Having active travel options on the Birmingham Road Site is essential to promoting healthier and more sustainable modes of travel, helping Lichfield District Council meet its climate goals. The Birmingham Road Site presents a perfect opportunity for a well-designed pedestrian and cycling network that can take advantage of developments in bike hire schemes.

- MUST** All new streets with any traffic must be designed for 20mph.
- MUST** New developments must incorporate adequate cycle parking, as set out in Section 3.9 below.
- SHOULD** Spaces for bike and scooter hire parking should be incorporated into streets.
- SHOULD** New local streets and mews should be filtered to reduce through traffic and make them easier and more comfortable to cycle or walk through.

3.5 Junctions

Safe junctions are key to creating safe streets for pedestrians and cyclists. They have a key placemaking function beyond just vehicle movement. Junctions are places where activity should be concentrated, as they are places where people meet and spend time.

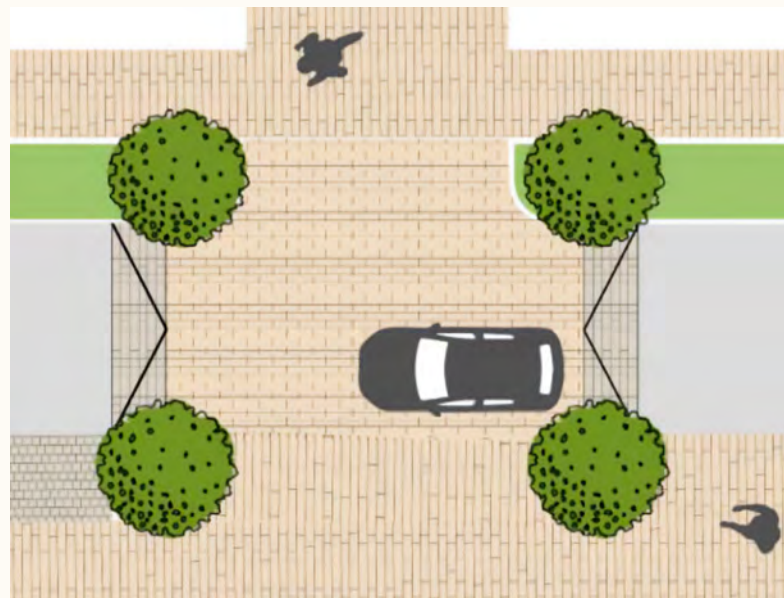
- MUST** Junctions must be designed in accordance with the principles of Manual for Streets, not the DMRB.
- MUST** New junctions must be one of the typologies listed below. Large roundabouts are not permitted.
- MUST** Corner radii must be as small as possible, and no greater than 2m, to maintain pedestrian desire lines and reduce vehicle speeds.
- MUST** Junctions from an existing secondary or primary route to a new local or mews street must use continuous, or 'Copenhagen' crossings.
- SHOULD** Junctions should provide opportunities for gathering, sitting and resting, and new street greenery.

SHOULD Junctions should not be designed solely around the largest vehicle. On all new residential streets it is permissible for large vehicles to take up both lanes when turning.

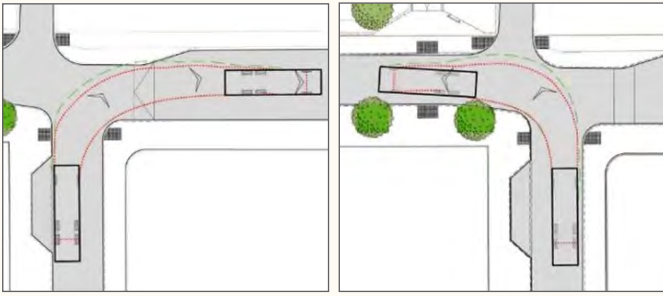
SHOULD Minor junctions should be constructed as a raised table, with pedestrian priority.

The following junction types are permitted:

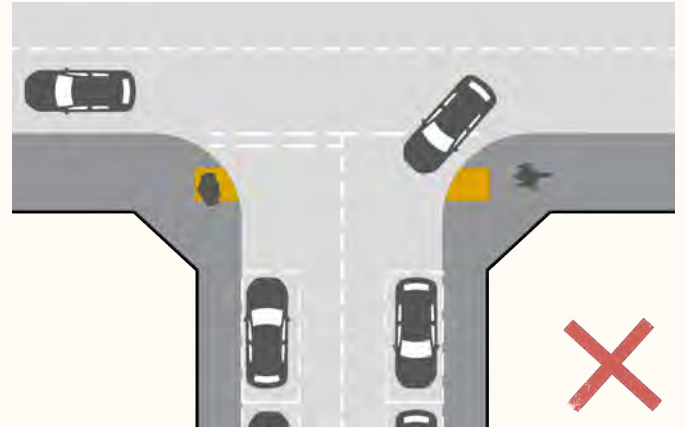
- *Crossroads and staggered junctions*
- *T and Y junctions; and*
- *Formal and informal squares*



The Birmingham Road site should include raised tables at junctions to prioritise the movement of pedestrians.



Vehicle tracking a refuse vehicle on tight corners. The vehicle takes up both lanes when turning.



A conventional side street junction (top) compared to a continuous, or Copenhagen, crossing (bottom).



Example of a continuous crossing in Nansledan, Cornwall.

3.6 Crossings

Well-designed pedestrian and cycle crossings are essential to creating healthy streets. Crossings help calm traffic, improve street aesthetics and provide opportunities for trees and other street greenery.

- MUST** Crossings must be one of the typologies listed below.
- MUST** All new crossings must be single stage to provide a more direct and convenient crossing.
- MUST** Crossings must be constructed in the same material as the footway, or at least a contrasting material to the carriageway.
- MUST** Continuous, or 'Copenhagen' crossings must be designed as continuations of the footway, and maintain the same width, material and levels.
- SHOULD** New formal and informal crossings should incorporate raised tables to provide traffic calming and ensure pedestrian priority.

Crossing types:

- **Continuous or 'Copenhagen' crossings:** extensions of pavement on entrances to side streets.
- **Raised table junctions:** as described above.
- **Uncontrolled, or courtesy crossings:** normally constructed as a raised table.
- **Zebra crossings:** suitable only for secondary streets.

3.7 Parking strategy

The Birmingham Road Site must be a car-light development. Excessive levels of parking make it difficult to achieve compact, walkable and beautiful streets that are appropriate for the town centre area type that Birmingham Road Site has been designated as. However, it is recognised that most residents will want access to a car.

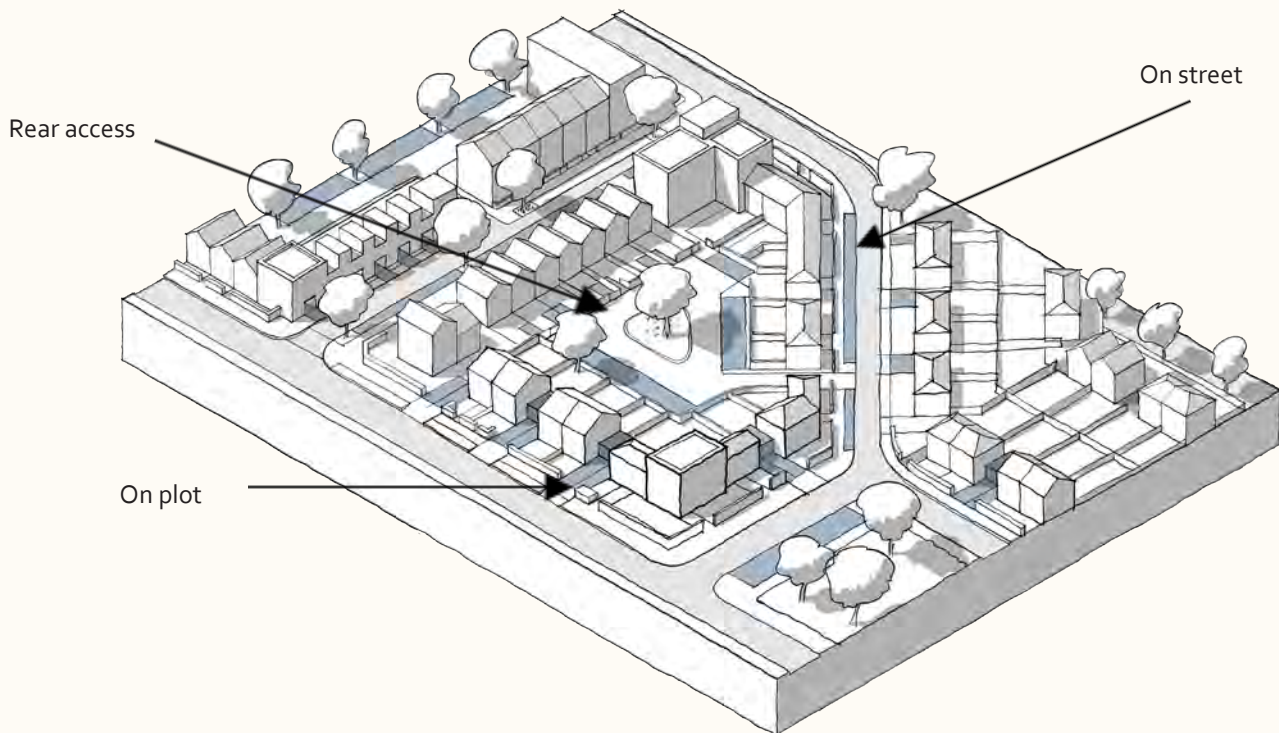
It is envisaged that the need to own a car will be lower in the future, and ownership and therefore parking demand will likely fall, but demand will still be high in the short term. It is therefore imperative that development does not 'lock in' high levels of parking and allow provision to flex and adapt in the future.

- MUST** The Birmingham Road Site must be a car-lite development.
- MUST** Parking provision must be in line with the spatial strategy as set out below.
- SHOULD** Development should make use of innovative parking strategies such as peripheral parking.

3.8 Parking spatial strategy

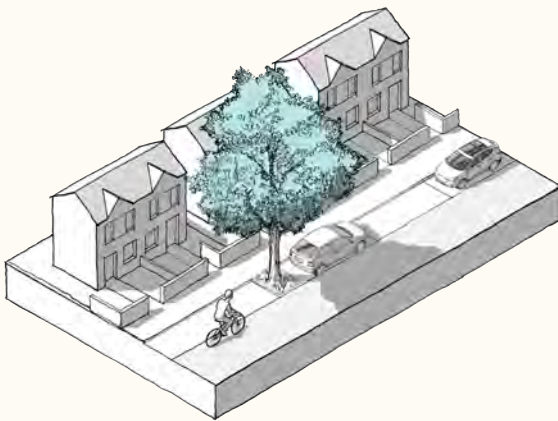
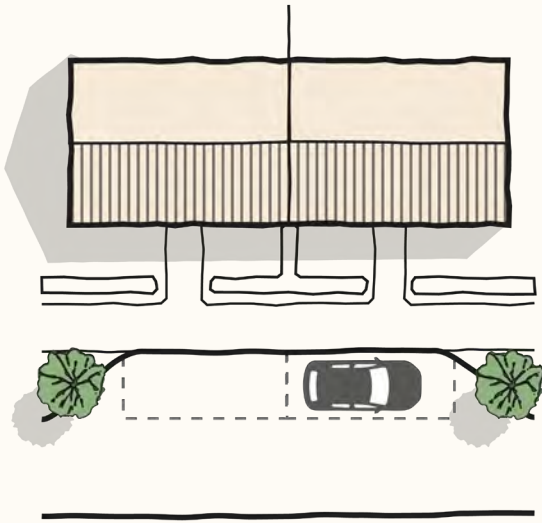
MUST The following parking strategy must be followed:

- If parking is required, most parking will be provided on street or in parking courtyards.
- Additional demand will be provided in the following, in order of preference:
 - Offsite parking
 - Peripheral parking
 - Underground parking
 - Temporary car parks on undeveloped plots
 - Built in garages or undercroft parking



Some typical parking locations (see section 7.4 for block patterns).

On-street parking



Examples of how on-street parking should be broken up by regular trees.

MUST

On street parking must be broken up by trees or other planting on build outs, at least every four spaces.

MUST

Parking must be unallocated, if on an adopted street.

MUST

On street parallel bays must be a minimum of 2m wide, and a maximum of 2.2m. They must be a minimum of 4.8m long, and a maximum of 5m.

MUST

Bays must be part of the adopted highway.

SHOULD

On street parking should be parallel, perpendicular bays should not be used, except where this is more spatially efficient.

Underground and undercroft parking

Blocks of flats may use undercroft or underground parking as an efficient way of providing parking within the curtilage of the site, but this can be detrimental to the street scape if not designed correctly.

MUST

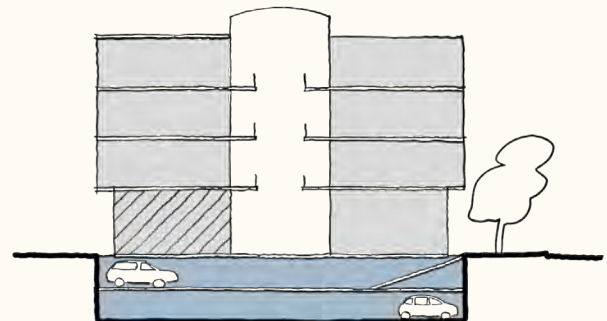
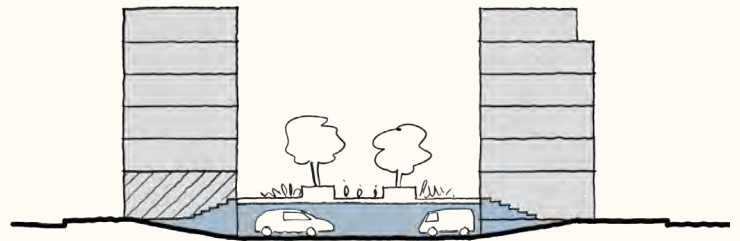
Parking on the ground floor must only be to the rear of buildings, ensuring that an active frontage on the street is maintained.

MUST

Entrances to underground or undercroft parking must be via pavement crossovers, such as a Copenhagen crossing. Large bell mouths that interrupt the pavement line must not be used.

SHOULD

Ground floor parking should be in well overlooked locations and should be gated.



Good principles for undercroft and basement parking.

Temporary parking plots

To provide flexibility in the short to medium term, assuming that there will be an increase in offsite parking supply and that overall parking demand will reduce, it will be permitted to use undeveloped plots as small parking areas. These will need careful design to ensure that they don't detract from the streetscape.

MUST

Temporary parking areas must incorporate planting, such as trees, low hedges and shrub planning around the perimeter.

MUST

Areas must be open to the street to allow surveillance.

MUST

Entrances must be via pavement crossover, such as a Copenhagen crossing.

MUST

Plots on primary or secondary street frontages must not be used as temporary parking plots.

SHOULD

Surfacing should be temporary and permeable, suitable materials include gravel, reinforced grass and grasscrete.

Development of temporary parking plots



1. Site plots are laid out

2. Plots partially developed; five plots used for parking

3. At a later date, those five plots are developed, and the quantum of parking is reduced

As parking needs reduce, some temporary parking plots can be turned into housing or public space.

Rear access parking

This refers to parking within a block, to the rear of homes. This could be in the form of either a parking lane or a rear access courtyard.

MUST

Rear parking must be overlooked by surrounding buildings.

MUST

Rear parking areas must be enclosed within the block structure and must not front onto the street.

MUST

Homes served by rear parking must have their primary access onto the public street, only secondary access can be provided at the rear.



Rear parking: in this example it is accessed through an archway between homes.

3.9 Cycling strategy

To encourage cycling it will be necessary to provide safe and convenient cycle storage for all new homes. This can either be:

- *On plot:* either external or internal, covered or uncovered.
- *Shared:* in an internal or external shared bike store.

MUST

A minimum of one bike space must be provided for each new home, with one additional space for each additional bedroom. For example a two bed home would have two spaces. Passive provision can be made, for example, by providing general storage space big enough for bikes if required.

MUST

Standalone cycle stores and shelters must be constructed in accordance with the material and design standards set out in this code.

MUST

Flats or apartment buildings must have internal cycle storage facilities.

SHOULD

Terraced homes should provide cycle storage either internally or in shared cycle stores or shelters.



EV charger integrated into street furniture and a discreet wall-mounted charger.

3.10 Electric vehicle charging

All developments must be planned to accommodate EV charging. This will aid the council meet its carbon reduction plan.

MUST

All new parking bays, on street and off street, must have access to an EV charging point. A car within a parking space is generally seen as chargeable if it is within 5m of a charge point.

MUST

Chargers must be positioned so that it is possible to charge a car without trailing cables across the footway.

MUST

On street pillar point chargers should be located in a build out in the carriageway, not on the footway.

SHOULD

New EV charging equipment should be integrated into other street furniture.



4

Nature

4 Nature

4.1 Green Infrastructure

Green infrastructure refers to green spaces and features that deliver health and environmental benefits. This includes green roofs, street trees and sustainable urban drainage systems (SuDS).

While Lichfield has good access to the countryside and quality green spaces such as Stowe Pool and Beacon Park, it is still important to ensure that the urban spaces within the town are sufficiently green to maximise people's exposure to greenery and all the benefits that entails.

Good green infrastructure, little and often, will increase biodiversity, provide amenity value and beauty, improve the residents' physical and mental health, reduce air and water pollution and minimise flood risk.

- MUST** All new streets must incorporate greenery, as set out in the street typologies section of this code.
- MUST** New buildings facing the street must have provision for street facing greenery, for example in small front gardens, in balcony planters or space for pots and small plants around the edge of the building.
- MUST** Trees and planting must be coordinated with underground utilities at an early stage. Common utility corridors must be provided and planned around trees.
- SHOULD** Existing mature trees should be preserved and not removed.
- SHOULD** Street trees should be planted in build outs to ensure a minimum 2m clearance on footways.
- SHOULD** Amenity grass should only be used for accessible recreational areas, such as parks or parklets, or areas for sitting and gathering.
- SHOULD** Tree pits should incorporate low level planting to maximise opportunities for greenery and improve biodiversity.

There is a wide range of other guidance available on trees and greenery. It is recommended that reference is made to:

- TDAG (2014) Trees in Hard Landscapes; and
- NJUG (2007) Guidelines for the Planning, Installation and Maintenance of Utility Services in Proximity to Trees.

4.2 Species selection

It is important to use the right mix of tree and plant species that are appropriate for Lichfield's environment. A diverse mix provide variety and interest in the public realm, improve biosecurity and resilience, and increase biodiversity.

- MUST** The species selection must consider the space available for the tree canopy.
- SHOULD** A mix of tree families, genera, and species should be used across a development unless an individual tree species is being used to define the street.

Street Trees

Whilst single species may afford coherence in a designed layout, it is advisable to include a variety of species in any scheme in case of disease. Fastigate varieties of tree with an upright, compact crown are most suitable for narrower streets, while larger canopy trees are preferable for wider streets.

4.3 SuDS and drainage

Sustainable Drainage Systems (SuDS) reduce the impact of runoff from urbanised areas by mimicking natural drainage conditions. This helps reduce flooding, improve the quality of water in our streams and rivers, and recharge the underground aquifers as well as providing amenity and biodiversity.

- MUST** All developments must include sustainable drainage systems (SuDS).
- MUST** The design of components must be in line with the Staffordshire County Council SuDS guidance.
- MUST** Developments must use infiltration drainage, either partially or fully, unless not technically feasible.
- MUST** Sustainable drainage systems (SuDS) must be integrated into the streetscape and landscape of a development, they must not be isolated features.
- SHOULD** New developments should seek to reduce runoff to greenfield rate where practical. A minimum rate of 1l/s will be accepted.



Well integrated urban SuDS in Cardiff.

SuDS in Hackney, London (above) and street trees and ground planting in Lichfield (below).



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5

Use

5 Use

5.1 Variety and activity

Good mixed-use places feel alive, and contain a variety of buildings, people, businesses and activities. Lichfield's core is a large mixed-use network of streets, with a proud heritage of independent shops and businesses. The mixed-use approach must be continued on the Birmingham Road Site.

However, with the site near Lichfield's centre, and a new cinema with food and beverage also opening nearby, the area need not be saturated with more offices and shops.

- SHOULD** New development on the Birmingham Road Site should have some commercial, retail and leisure ground floor uses.
- SHOULD** New development should contain some food and beverage outlets to promote footfall and social interaction.
- SHOULD** Commercial ground floors should be concentrated in clusters around public realm focal points such as squares, key crossings or the most populated thoroughfares.
- SHOULD** Studio and commercial space should be included on the site that is accessible for a variety of community and local uses.

5.2 Housing mix

A mix of types and tenures of housing is essential in creating diverse, resilient, and healthy communities. By developing sites on a plot-by-plot basis, and by creating buildings with flexible layouts, there is huge flexibility in the potential housing mix on any site.

- MUST** New developments must be 'tenure blind', with no clear visual or geographical distinction between tenures.
- MUST** Affordable housing provision must be distributed throughout sites, not concentrated on one street or corner of a development.
- SHOULD** Larger homes should be designed to allow later conversion into smaller flats or maisonettes.



A mix of shops in Lichfield.



6

Public Space

6 Public Space

6.1 Street design principles

The majority of public space is formed by streets, so their design has a significant impact on the quality and character of development.

There are a wide range of existing street types in Lichfield, from pedestrianised high streets through to small alleys. As a town centre type, the Birmingham Road Site will match Lichfield's historic centre where streets tend to be formal in character, with regular building lines and typologies.

It is intended that all new streets will be 'adoptable', meaning that they will become publicly owned and maintained by Staffordshire County Council. Even where streets serve a limited number of homes, they would still be suitable for adoption if they provide a useful walking or cycling route across a development.

- MUST** New streets for the site must be in accordance with the street types set out in this code.
- MUST** Surfaces must be paved using the material palette presented in this code.
- SHOULD** All new streets should be offered for adoption by Staffordshire County Council, and as such designed and built to adoptable standards.

6.2 Street types

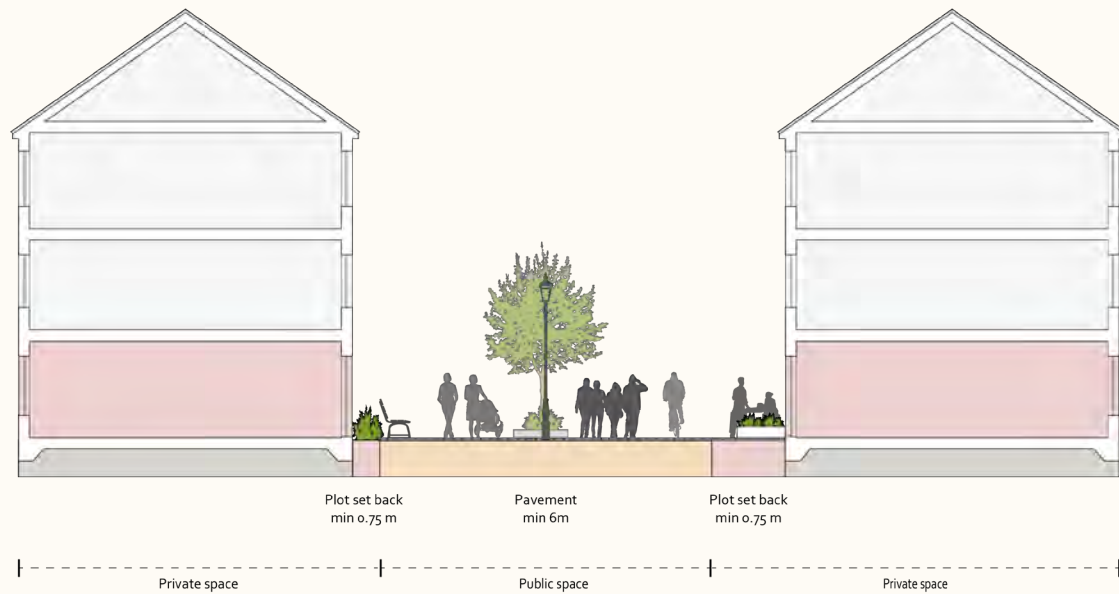
The following street types are set out in this code, these are broadly in line with the street types set out in the National Model Design Code (NMDC), but only includes lower order streets, as new primary streets are not suitable for the Birmingham Road Site.

	Traffic-free high street	Local Street	Residential mews - with parking	Residential mews - no parking	Alleys - no vehicle access
Carriageway width	N/A	4.8m (min) 6.0m (max)	6m (min) 9.0m (max)	6.0m (min) 8.0m (max)	4.5m (min) 5.5m (max)
Pavement width	6.0m	2.0m	N/A	N/A	N/A
Plot-set back	0.75m	0.5m (min) 2.0m (max)	0.3m (min) 0.5m (max)	0.3m (min) 0.5m (max)	N/A
Overall width (between buildings)	7.50m	17.0m (max)	7.6m (min) 9.0m (max)	6.0m (min) 8.0m (max)	4.5m 5.5m
Design Speed	10mph	20mph	10mph	10mph	N/A

Traffic-free high street

Lichfield's pedestrianised and traffic-light centre will be mirrored in the Birmingham Road Site. A traffic-free commercial street can act as the main artery through the Birmingham Road Site. Traffic-free high streets can receive vehicular deliveries at certain times.

Typical cross section (not to scale)



A traffic-free High Street in Lichfield (Market Street).

Local Streets

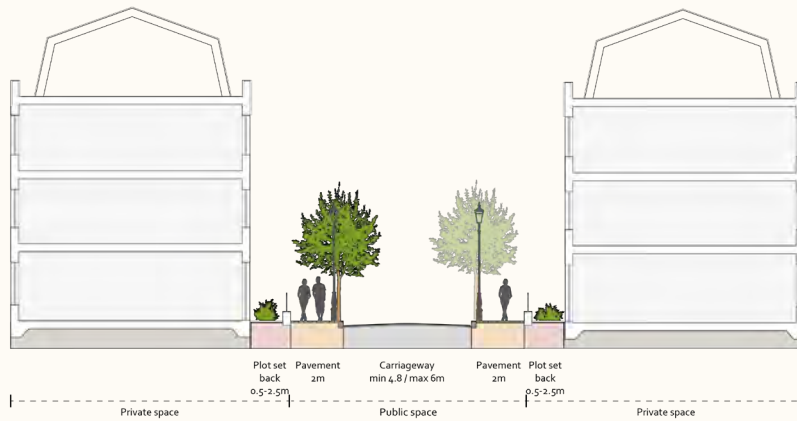
Local streets are residential, although may contain some commercial and are open to vehicle traffic but must not be used for through traffic and should be filtered where possible. Parking should be provided on street and should be broken up by regular street trees or build outs.

The footway must be separated from the carriageway by a kerb and must be laid in a different material. Front gardens should be no more than 2m deep.

Typical cross section (not to scale)



Local street with parking



Local street without parking



An example of a local street without parking in Lichfield.



A local street with parking (Goldsmith Street, Cambridge).

Tertiary Streets – Residential Mews (with parking)

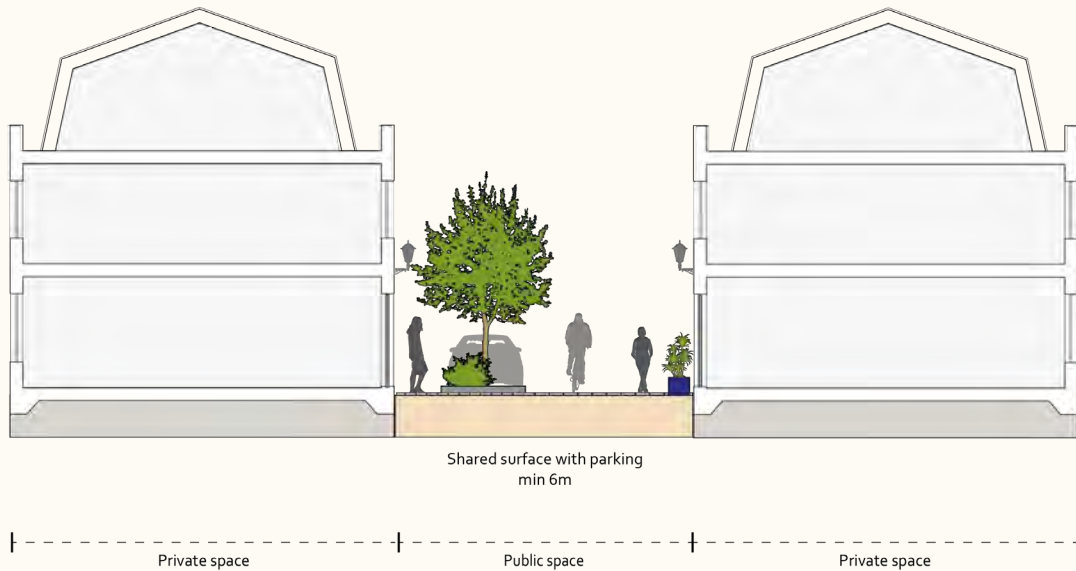
These are narrow residential streets lined by homes, often to the rear of large houses. They should provide a through route. Cars are permitted, and parking should be provided in clearly delineated locations. Refuse collection should be provided outside of the mews, ideally in communal facilities, so access for large vehicles is not required.

The surface is level, with no separate pavement, and should be laid in good quality paving material, not tarmac. A private set-back in front of homes should be provided to allow for

drainage, overhangs, etc. but this should be at the same level and laid in a similar material as the adoptable street surface. The street should include occasional, informal, planting and furniture but a 3m minimum clearance must be provided to allow for emergency vehicle access. Lighting should be wall mounted, but freestanding lighting columns can be used if clearance can be achieved.

Homes on mews streets can be up to three storeys high.

Typical cross section (not to scale)



A residential mews street in Lichfield with parking.



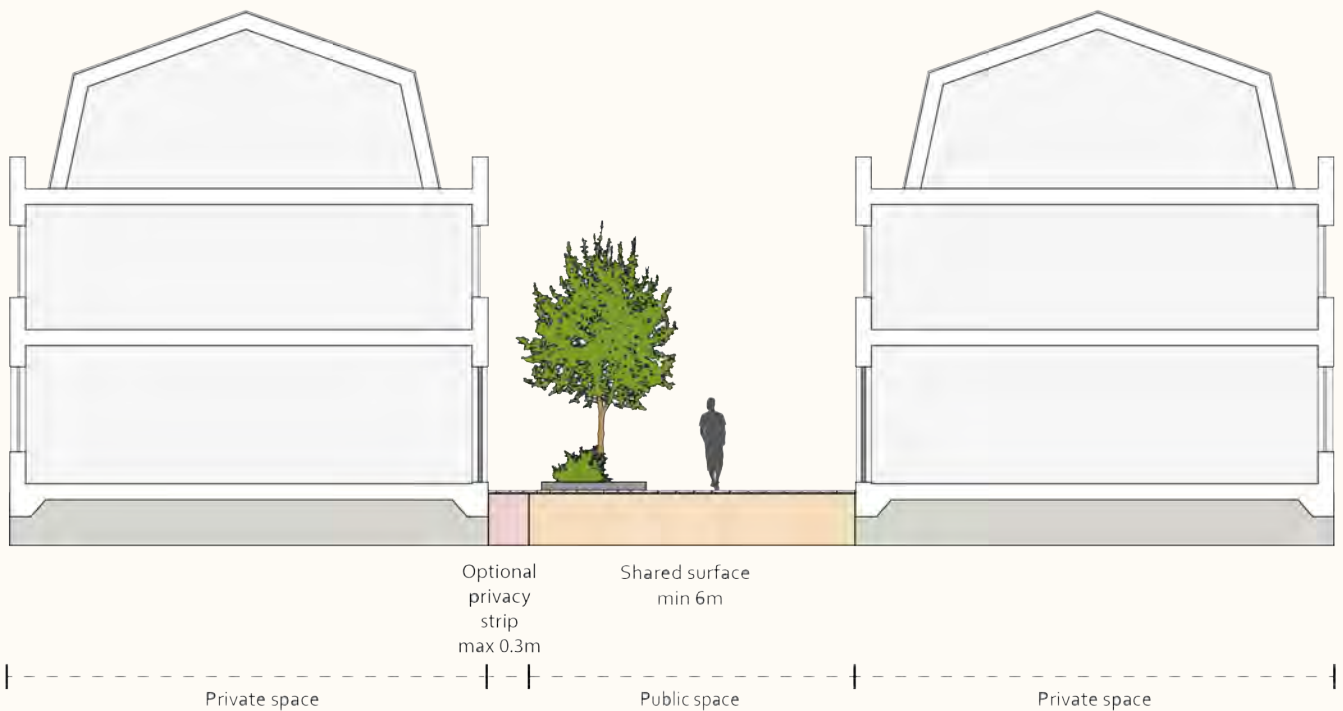
A residential mews street without parking (Poundbury).

Tertiary Streets – Residential Mews (no parking)

This is a variation of the residential mews, with the same design criteria, but without parking. This allows the street to

be narrower and less dominated by cars. However, occasional car access, along with emergency vehicle access is permitted.

Typical cross section (not to scale)



Tertiary Streets – Coaching entrances and alleyways (no vehicle access)

Lichfield has many coaching entrances and alleys through buildings. Coaching entrances lead to inner courtyards that access residential entrances. Alley's connect other tertiary and local streets. The alleys can be partially covered and contain shops and commercial premises.

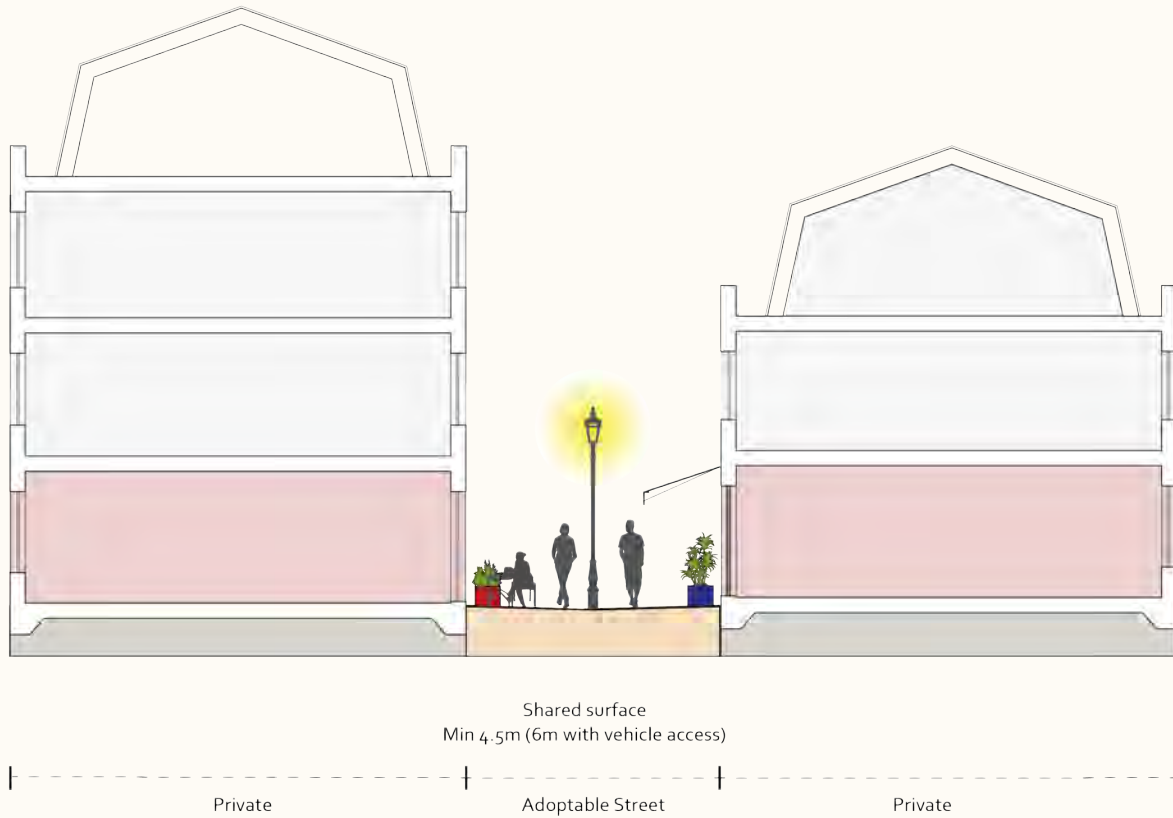


Alleyways add interest to Lichfield's streets.



Lichfield's coaching entrances are a reminder of its heritage as a major coaching stop.

Typical cross section (not to scale)



6.3 Street materials

Paving materials must be easy to maintain and replace, durable and of attractive appearance appropriate to the local character. A simple palette, with a limited number of materials and colours is preferable. Using too many paving types can result in an incoherent environment that will be hard to maintain and repair. Consideration must be given to the whole life costs of materials when deciding which to be used.

MUST

The following material matrix must be adhered to for all new streets, both private and adoptable.



Clockwise from top left: shared surface on a traffic-free commercial street; a variety of clay pavers help delineate the carriageway; granite setts; clay pavers can be used on raised pavements too.

Surfacing Materials

	Traffic-free high street	Local Street	Residential mews - with parking	Residential mews - no parking	Alleys - no vehicle access
Carriageway	<ul style="list-style-type: none"> • Clay pavers • Clay pavers (permeable) • Natural stone (granite) • Resin bonded gravels 	<ul style="list-style-type: none"> • Asphalt • Proprietary systems, such as thin surfacing systems 	<ul style="list-style-type: none"> • Clay pavers • Clay pavers (permeable) • Natural stone (granite) • Resin bonded gravels 	<ul style="list-style-type: none"> • Clay pavers • Clay pavers (permeable) • Natural stone (granite) • Resin bonded gravels 	<ul style="list-style-type: none"> • Clay pavers • Natural stone (granite) • Resin bonded gravels
Parking Bays	N/A	<ul style="list-style-type: none"> • Asphalt • Permeable asphalt • Clay pavers • Clay pavers (permeable) 	<ul style="list-style-type: none"> • Clay pavers (delineated) 	N/A	N/A
Pavements	<ul style="list-style-type: none"> • Clay pavers • Natural stone 	<ul style="list-style-type: none"> • Clay pavers • Natural stone 	N/A	N/A	N/A
Raised tables	<ul style="list-style-type: none"> • Clay pavers • Natural stone 	<ul style="list-style-type: none"> • Clay pavers • Natural stone 	N/A	N/A	N/A

6.4 Squares and parks

New neighbourhoods require focal points, these can take the form of small village style greens, garden squares or small parks, or formal town squares. All of these spaces provide informal settings for activities such as meeting, resting, playing, and holding events.

Lichfield residents consistently expressed a desire for new public realm that could serve as a focal point for the community, offering space to 'watch life go by' as well as hold public events. In visual preference surveys with Lichfield residents, smaller, well-enclosed public realm with greenery and vertically arranged, detailed architecture were preferred.



Left to right: examples of a village green, a town square and a garden square.



Well enclosed public realm with greenery had high approval from Lichfield residents. Neal's Yard (left) and Southgate Place, Bath (right) were popular in visual preference surveys.

6.5 Street furniture and lighting

Alongside their function, high quality street furniture and lighting can greatly contribute to the identity of a place, giving visual interest and 'colour' to new development. Conversely, poor quality street furniture can significantly detract from a sense of place.

Bins

MUST

Bins must be provided on all new local streets, tertiary streets and in new parks and squares.

SHOULD

Litter bins should be cast iron or steel, not plastic.

SHOULD

Enclosures should be painted black or dark green.

SHOULD

Bins should be partially enclosed.

SHOULD

Separate bins should be provided for recycling and waste. Combined bin units can also be used.



MUST

The Birmingham Road Site must include new public spaces and green spaces, distributed throughout the site 'little and often'.

MUST

New public spaces must include greenery, including trees.

MUST

New public spaces, of all sizes, must include seating such as benches.

SHOULD

There should be clear delineation between public and private spaces.

SHOULD

New public spaces should act as a focal point for activity, and buildings with a public function, such as school, churches, cafes or pubs, should be placed around new public spaces.

Benches

MUST

New public spaces must include benches.

SHOULD

Benches should be distributed along key walking routes, ideally every 60m to provide convenient places to rest.

SHOULD

Benches should normally be distributed around the edge of public spaces and not have exposed backs.

SHOULD

Benches should be cast iron, stone, or hardwood timber, or a combination (e.g cast iron supports with timber seat and back).

SHOULD

Non cast-iron types of metal, such as stainless steel should not be used.



Good examples of cast-iron, timber and masonry benches.

Signage

MUST

Signage must be limited to essentials only to avoid clutter, and signage must be combined on shared posts, or lamp posts, wherever possible.

SHOULD

Street signs should be mounted on buildings wherever possible.



L-r: Cast iron black signpost in Lichfield; wall mounted signs using cast iron mounts.

Lighting

MUST

All new streets must include street lighting.

MUST

On local and tertiary streets, and in new public spaces, lighting columns must be a maximum of 5m high.

MUST

New light columns must be metal.

MUST

Street lighting must have a colour temperature no higher than 3000 Kelvin to minimize the amount of harmful blue light in the spectrum. Lights with a colour temperature down to 2,200K can be specified in residential mews streets.

SHOULD

New streetlights should use 'heritage' style lanterns and finished in black.

SHOULD

Lanterns should be mounted on columns or on buildings.



Cast-iron lampposts in Lichfield.



Examples of new 'heritage' style lanterns.



Built Form

7 Built Form

7.1 Introduction

Lichfield's built form derives from its establishment as a cathedral city. Its streets have survived over a thousand years and are a resilient and enduring heart to the town.

The Birmingham Road Site must continue this built form to create a coherent addition to Lichfield that is integrated into the existing streets, making it a gateway to the centre, not an illegible and siloed 'quarter' on the edge, with disconnected building and street typologies.

7.2 Density

Historic urban cores such as Lichfield's have high densities. The Birmingham Road Site has been designated a town centre area, it should therefore achieve a similar density to Lichfield's core. As Lichfield's centre shows, this does not require tall buildings, or cramped block patterns. This can be achieved through 'gentle density', using low to mid-rise buildings arranged in streets.

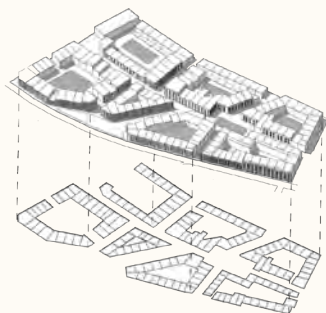
SHOULD The site should achieve a minimum density of 70 dwellings per hectare (gross), providing between 200-300 homes on the site.

7.3 Urban grain and plots

MUST Development must be a 'fine-grained' form, with a high enough plot coverage to achieve the density required in section 7.2 within the height parameters set in section 7.6.

SHOULD Plot widths should be between 5 and 9.5 metres.

SHOULD For wider building requirements up to two plots can be combined but should retain a fine-grained vertical massing to avoid long inactive facades.



An indicative example showing how the Birmingham Road Site must be arranged according to fine-grained plots with high plot coverage.

7.4 Blocks

A fine-grained masterplan can be also achieved with well-designed blocks that have clearly defined fronts and backs, with active frontage and parking either on-street or in hidden courtyards. It is essential that new developments respect the surrounding block and street pattern.

The main principles that should underpin the layout of the Birmingham Road Site are:

- A network of connected streets, of different widths
- A mix of house types predominantly terraced and flats (either maisonette or mansion block')
- Consistent building line with some variation permitted
- A mix of parking types
- Green spaces 'little and often'
- Rear parking and mews overlooked by houses
- Pedestrian permeability
- Using walls as boundaries

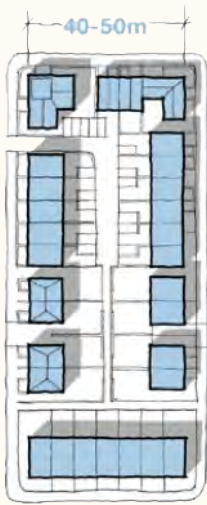
MUST Buildings must define the perimeter of the block, ensuring that the frontages are street (public) facing, and providing any private gardens or communal private spaces to the rear of the building.

MUST Rear gardens and backs of buildings must not back onto public spaces such as greens or squares.

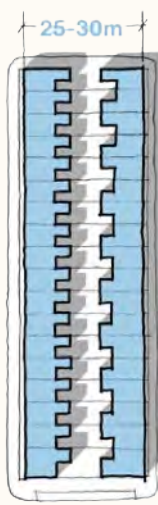
MUST All street-facing facades must have windows (especially important for corner buildings).

SHOULD Blocks should be between 50-100m long. Longer blocks should have alleyways or mews throughfares to allow pedestrian permeability.

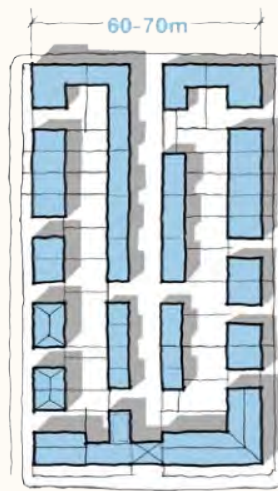
SHOULD New blocks should be in the form of perimeter blocks, terraced blocks, mews blocks or courtyard blocks (see below).



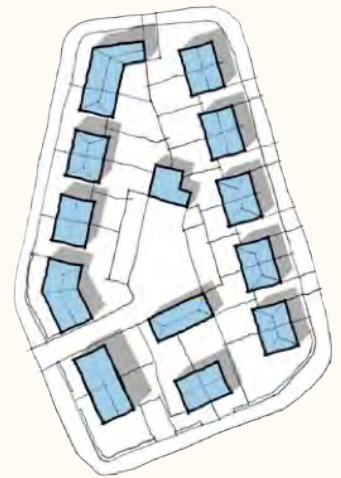
Perimeter Block



Terraced Block

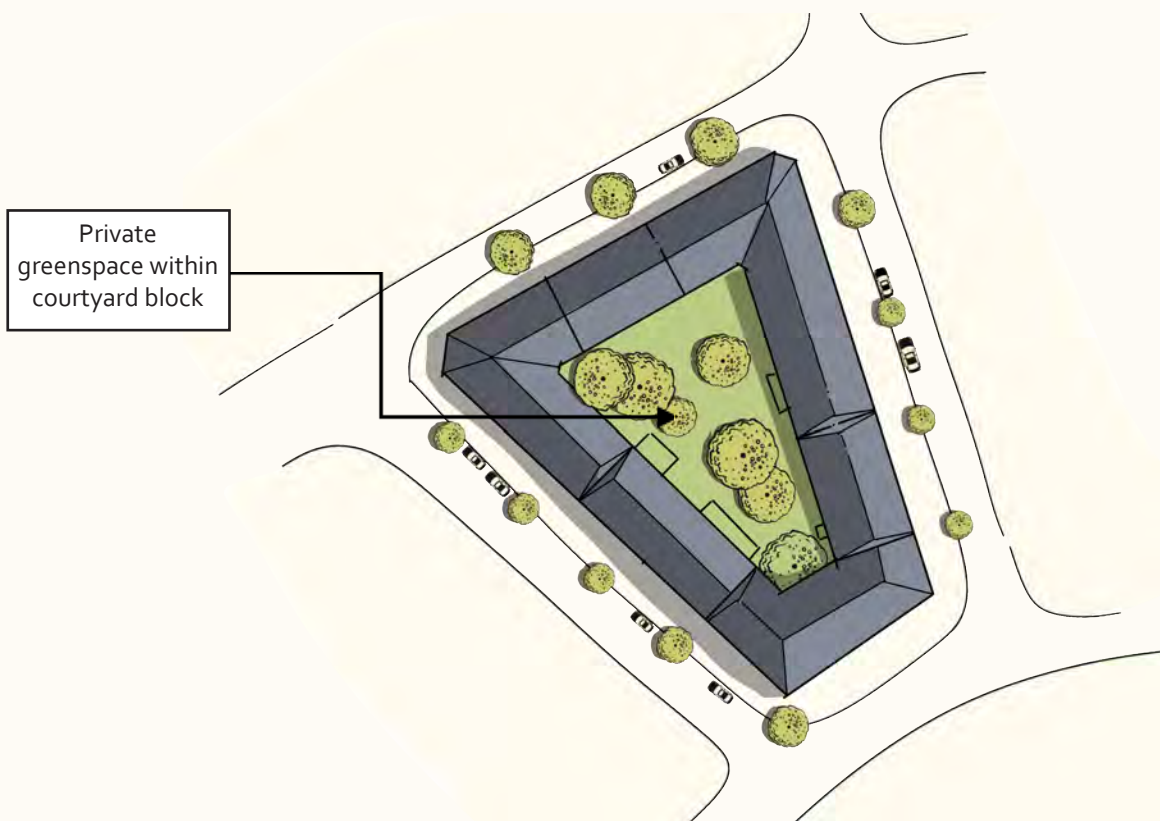


Mews Block



Courtyard Block

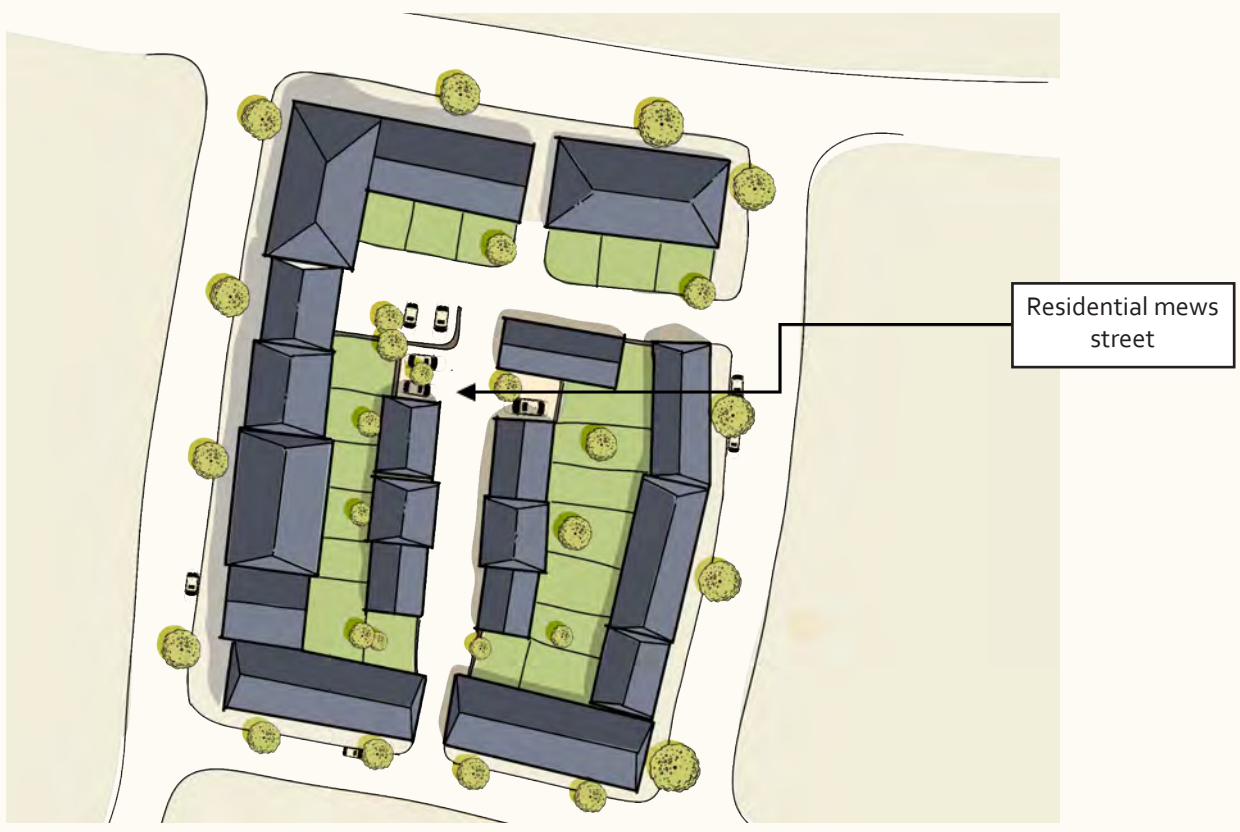
The following block patterns give examples of how development on the Birmingham Road Site could be designed using perimeter, terraced and mews blocks. The strength of these block forms is that they are highly flexible and can be arranged together in different combinations.



Courtyard block with no parking and shared private green space.



Mews block with parking and a small square.



Mews block with mews and courtyard parking.

7.5 Building line

Maintaining a consistent building line is essential to defining public space and creating a legible built environment. Conversely if the building line is too rigid, this can be monotonous. Some variation in the building line is therefore permitted.

MUST

Building line compliance on a street must not be lower than 90 per cent.

7.6 Building types

Variety is an important feature of attractive and engaging urban realm. Lichfield's Georgian centre has a wide variety of buildings, with few terraces featuring the same building type consecutively.

MUST

New streets and public realm must have a variety of building types.

SHOULD

The same building type should not be used more than six times consecutively



Here a variety of building types are used to create a diverse and rhythmic street frontage, drawing on Lichfield's centre.



Extended terraced forms are not found in Lichfield's centre: the same house type should not be used more than six times consecutively.

7.7 Heights

Building heights play a large role in defining a sense of place. The Birmingham Road Site is a highly sensitive site adjoining Lichfield's historic core, bridging it to Lichfield City Station.

Building heights here indicate total height (so include roof height, but not smaller extrusions such as chimneys.) A storey is defined as 3 metres, e.g 3 stories is equal to 9 metres and 4 stories is equal to 12m.

- MUST** New development must not exceed five storeys.
- SHOULD** Development on the Birmingham Road Site should be taller (4-5 storeys) on the eastern portion of the site where the impact is minimised by the height of the former Debenhams building.
- SHOULD** Along Frog Lane building heights should not exceed three storeys .
- SHOULD** Along St John Street heights should not exceed three storeys.
- SHOULD** To achieve higher densities increased enclosure setbacks should be used on taller buildings.



Suggested height plan: higher densities are permissible closer to the former Debenhams building on the northeast of the site.

7.8 Sightlines

- MUST** Lichfield Cathedral's main spire must be visible from the viewpoint immediately outside Lichfield City Station. This can be done through lower building heights or by aligning a street along the sightline.



Lichfield Cathedral is visible to the left and St Mary's Church to the right. The main spire of Lichfield Cathedral must be visible from the station exit.



8

Identity

8 Identity

A city or town's identity is a crucial component of how residents relate to and experience the place they call home.

Few things define urban identity more than historic buildings and the built environment. Lichfield boasts a unique and strong urban identity deriving from its abundance of Georgian architecture and the in-tact 'palimpsest' of a medieval and Georgian town plan. This surrounding context provides numerous 'design hooks' for the development of the Birmingham Road Site which can help create somewhere with a clear 'sense of place'. Any place that could be anywhere risks being nowhere.



8.1 House types - principles

These house types are illustrative, rather than definitive designs, of the architectural quality and principles required for the Birmingham Road Site based on clear feedback from community engagement work with Lichfield residents.

Different house types can be used but they should still adhere to the wider policies in this design code. If they do this in line with other principles set out in this Design Code, they will be more likely in many situations to receive permission.

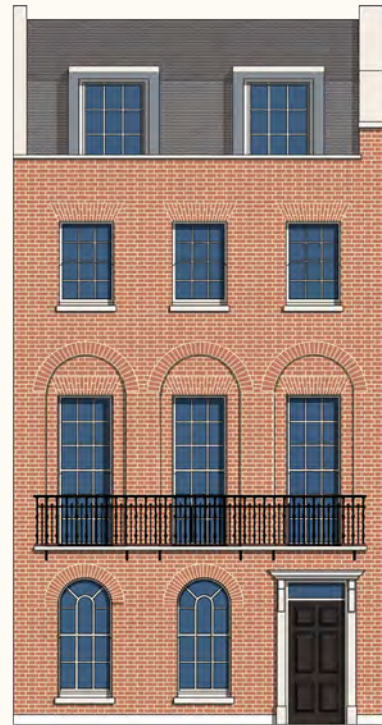
In line with Section 5.2, the homes can be designed as flats or 'maisonettes' or converted into them if required. Each building type can be used as either part of a terrace, or a detached building if required.



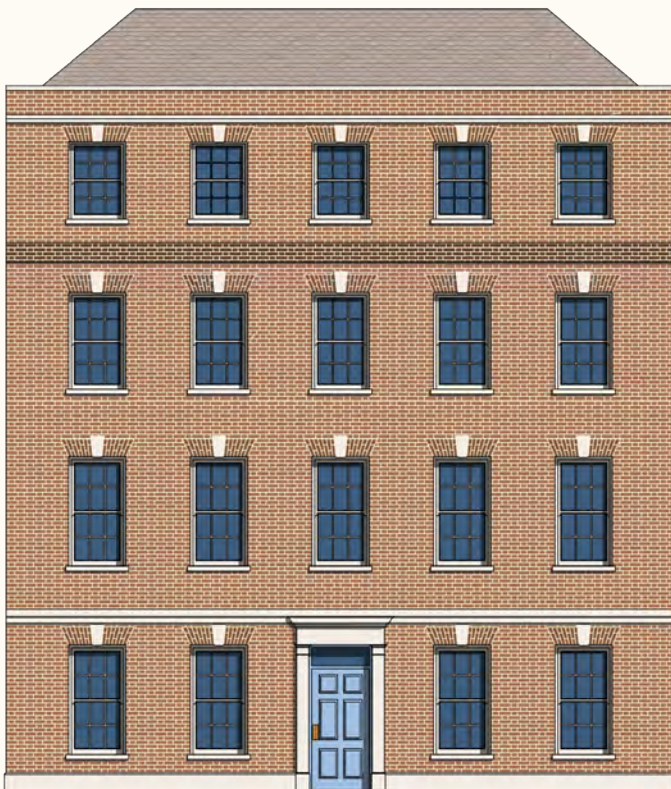
Above: 3-storey, 3-bay terrace house or maisonette



Above: 3-storey townhouse or maisonette



Left: 4-storey terraced flats with commercial ground floor; Right: 4 storey terrace with mansard roof



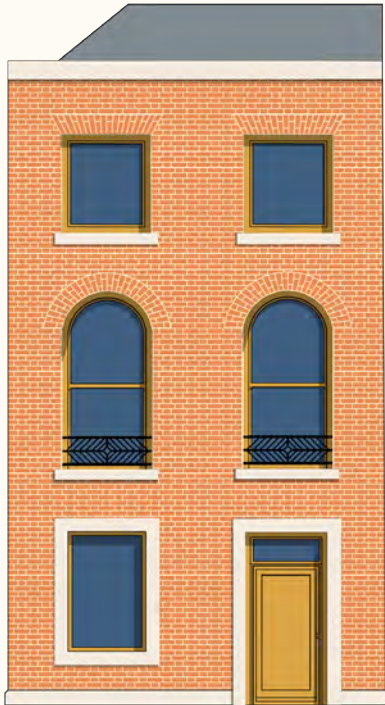
Left: 4-storey 'mansion' with keystone in lintels; Right: 3 storey home or flatted townhouse



Above: 3-storey 'Georgian mansion'



Above: Contemporary 'Victorian' flats



Above: 3 storey contemporary terraced types using arched and segmental lintels



Left: 'Victorian' house type with oriel window; Right 3 storey contemporary terraces with casement windows

8.2 Principles for contemporary architecture

Contemporary design and architecture can complement traditional design by adhering to key principles of appropriate scale, materials, colours and detailing.

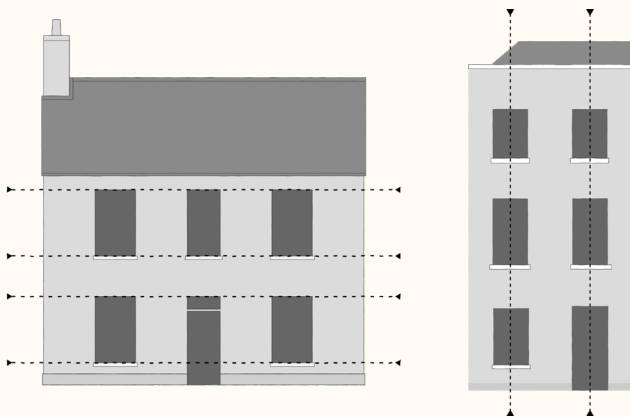
The Birmingham Road Site should aim to predominantly use traditional house types, interspersed with sensitively designed contemporary buildings.



Contemporary buildings can rhyme with and enhance the setting of the historic buildings.

8.3 Façade composition

A façade is a building's face to the world. It is important not just to the look of a home or shop, but to the nature of a settlement. Lichfield's distinct architectural character, inextricable from its Georgian legacy and its enlightenment-era ties, adheres to the principles of coherency, symmetry and order.



MUST

The size, type and spacing of window and door openings is crucial. A building must not have a random, haphazard series of openings.

SHOULD

New buildings should be well-proportioned and relate to the human scale.

SHOULD

Window openings should account for 25-40 per cent of the front façade to achieve balance between wall and void.

SHOULD

Facades of houses should aim for symmetry either as a whole or within individual elements of the façade, as demonstrated below.

SHOULD

Movement joints should be designed as part of the overall composition. Joints should be concealed behind rainwater downpipes, at internal corners or as design recesses.

SHOULD

The top and bottom of windows should align as shown in the diagram. Ground floor windows should align with the top of either the door or with a fanlight, canopy or an ornamental element such as string course. The exception are semi-circular fanlights, which do not have to align.

SHOULD

All buildings should have a plinth with a height of at least 10cm from the ground.

8.4 Materials – principles

The use of good quality, attractive vernacular materials will be essential for creating beautiful new streets and buildings that look and feel like Lichfield. The façade of even the simplest building can be elevated through the use of good quality brickwork, windows and joinery.

The vernacular of Lichfield is rooted in the availability of local materials. Red brick traditionally used local clay and is prolific in Lichfield, while the distinctive Keuper sandstone was used to build Lichfield Cathedral and parish churches, sourced from local quarries.

Prior to brick, timber was the dominant housing material, used for frames filled with wattle and daub. The timber frames can be seen best in the Tudor Café on Bore Street, or Cruck House on Stowe Street. Common with Georgian buildings was the use of slate roof tiles, however clay tiles were also common in Lichfield during the 19th Century.

8.5 Materials – brickwork

Brick is the dominant building material in Lichfield and underpins its local distinctiveness. Historically, Staffordshire brick was noted for its deep red colour. Brick should be the material of choice for most buildings on the Birmingham Road Site owing to its flexibility in form, colour and arrangement.

It is essential however that good quality bricks are used. Cheaper, dull, 'engineering' bricks will create cheaper, dull-looking places. Bricks must reflect the richness of Lichfield's existing brick palette.

MUST

New brickwork must be in line with the brickwork palette presented below. The existing examples presented in images below should also be used for reference.

MUST

All bricks on building façades or street facing elevations must be moulded or 'stock' brick. Wire cut, extruded or engineering bricks must not be used, except where they are not visible. Brick slips or tiles can be used but must have the appearance of moulded or stock bricks.

MUST

An appropriate colour mortar, in line with the palette presented below, must be used on the house types presented in this code.

SHOULD

Brick should be the material of choice for most buildings owing to its flexibility in form, colour and arrangement.

SHOULD

Most brickwork façades should be laid in Flemish bond.

Brick Type 1: Orange-red multi bricks



High specification option

Example: Michelmersh Hampshire Stock Light Multi



Medium specification option

Example: Ibstock Birtley Olde English

Brick Type 2: Rustic bricks



High specification option

Example: Vande Moortel Antique red



Medium specification option

Example: Marshmoor Olde Essex Red Multi

Brick Type 3: glazed

For 'burnt end' headers, chequer effects, ground floor 'rustication' and other details. Colours can vary according to design.



High specification option

Example: Wienerberger Colour Fusion Range



Medium specification option

Example: EH Smith Marine Green

Mortar

Permissible mortar colours and textures

White



Example: The Lime Centre lime or cement mortar in 'Chalk'

Cream



Example: The Lime Centre lime or cement mortar in 'Bath'

8.6 Materials – render and stucco

Another characteristic architectural feature of Lichfield is the use of render or stucco, exemplified by Samuel Johnson's House. Render is an important visual punctuation and a splash of colour where brick is the dominant material and should be used on the Birmingham Road Site. Historically stucco was used as render material, yet contemporary lime-based render is acceptable.





Rendered facades are an attractive way to break up the dominance of brick.



Render must be a smooth 'float' finish, and be of lime-base or stucco.

- MUST** Render material must be a smooth 'float' finish.
- MUST** Render material must be lime-based or stucco.
- MUST** Rendered buildings must have proper runoff systems to prevent staining, namely a cornice. Good quality corning prevents water running down the wall.
- SHOULD** Render colour should be an off-white, but different (appropriate) colours can work, which should be agreed by Lichfield District Council.

8.7 Roofs

Typical to Georgian architecture, Lichfield contains a large number of hipped roofs or gabled roofs which often sit behind a parapet.

- MUST** Primary roofs must not be flat.
- MUST** Tiles must either be plain clay tiles or slate tiles.
- MUST** Plain clay tiles must be of standard size (265mm x 165mm) and should match the local brick colour as far as practical. Examples are provided below.
- MUST** Pantiles, concrete tiles or plastic tiles must not be used.
- MUST** Dormer windows must be situated low down the roof, in the bottom 1/X of the total roof height. Windows must be in the same style as the rest of the building and dormer roofs must be gabled or hipped using the same pitch of the main roof.
- SHOULD** The roof pitch should be between 40°-45°.
- SHOULD** The height of the roof should not exceed 4.0m to minimise bulk.
- SHOULD** Slate tiles should preferably be quarried in the UK. Imitation slate tiles made from reconstituted stone or fibre cement can be used, provided that they are textured and resemble the natural product.
- SHOULD** PV panels should be installed on all new buildings but should not be visible from the street. PV tiles can be used with slate roofs, providing that they blend in seamlessly with the slate. South facing pitches will be the most efficient for PV energy generation.
- SHOULD** Barge boards and deep boxed eaves should not be used.
- SHOULD** Chimneys can be included in a new building; these should be constructed using brick and should be integrated into the heating and ventilation system. For example, as the intake and exhaust for an MVHR system, or to accommodate an air source heat pump.

Orange-red plain clay tiles



High specification option

Example: HG Matthews handmade tiles



Medium specification option

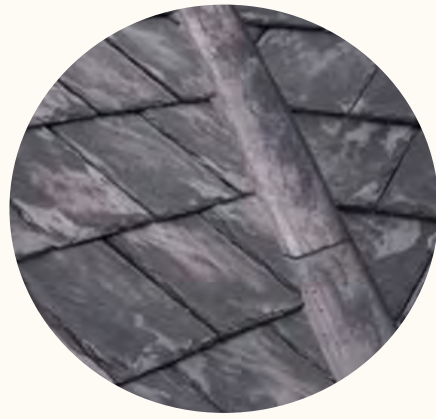
Example: Marley Acme Single Camber - Red Sandfaced

Slate



High specification option

Example: LBS Penrhyn 'Bangor Blue' ®



Medium specification option

Example: SIGA Heritage reproduction reclaimed slate (grey)



Example: GB Sol PV Slates

Can be used on street facing and non-street facing elevations with slate tiles

8.8 Windows

Windows help define the quality of a building, a place and a neighbourhood. Considering the simplicity of Georgian facades, getting the windows right is essential to the overall quality of new development. In Lichfield sash windows are the most numerous window type, with some casement. Sash windows tend to have panes in a 1-over-1, 2-over-2 or 6-over-6 configuration, some are 4-over-4 but this is less common.

A key feature of most sash windows is their vertical or 'portrait' orientation (except for the attic storey). The window lights on sash windows will also be portrait.



A typical arrangement of sash windows (note the vertical orientation of window lights on ground and first floor, and landscape orientation on the attic storey).



Left: A 2-over-2 sash window; Right: a bay window; Bottom: a casement window on St John's Hospice.



Left: A 6-over-6 sash window; Right: a casement window with masonry surround.

The following rules apply to windows:

MUST

Windows must be constructed from timber, steel, aluminium, or aluminium/timber composite. uPVC must not be used.

MUST

If sash windows are used, these must be the conventional sliding type, rather than mock sash style casement or tilt windows.

MUST

Windows must be recessed into the walls of the building by at least 60 mm.

MUST

Windows must have sills to prevent staining below.

MUST

Window opening must be vertically (portrait) orientated (except on the attic storey).

MUST

Glazing lights must be vertically orientated (except on attic storey).

SHOULD

The maximum sill height of windows should be 800mm. The exception are special window types such as an oculus.

SHOULD

Casement windows should be side hung but can have a 'tilt and turn' function. A window can also incorporate a smaller top hung panel.

SHOULD

Contemporary-type windows without grilles or mullions should be confined to use on contemporary buildings.

Sill heights

MUST

Guard height regulations sometimes change, but the current 1100mm guard height regulation must not be used to deviate from the window proportions outlined in Section 8.

SHOULD

Guardrails should be used to maintain a minimum guard height in cases where the sill is below 1100mm.

Lintels

In line with its Georgian heritage Lichfield boasts an eclectic array of lintels.



A selection of lintels from Lichfield: Baroque, flat gauge, and flat-gauge with masonry keystones.

SHOULD

All windows in brick facades should have arching action brick lintels (this includes flat 'jack' arches) for windows and doors on the main façade. These can be in a different colour, or colour mix, brick to the walls.

Surrounds

Well-designed window surrounds give significant interest to a building façade and inform a sense of place.



MUST

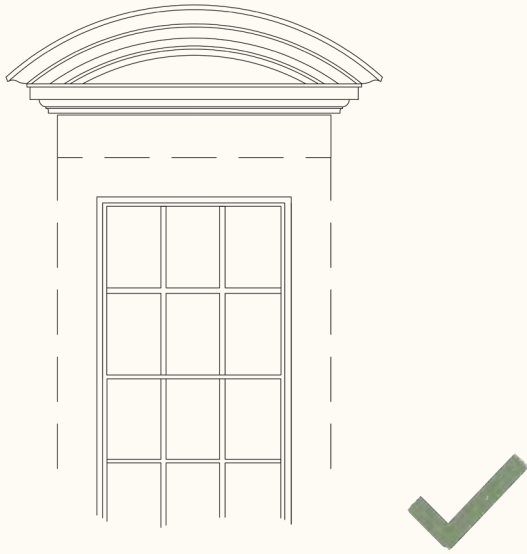
Window surrounds will not be used on every window, but where they are, they must be constructed from timber, stone, reconstituted or cast stone.

MUST

Window surrounds must adhere to Lichfield's historic proportions. They must not be far too wide or tall for the opening they cover.

SHOULD

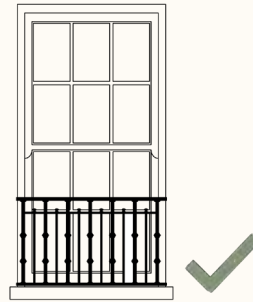
New residential development should incorporate some window surrounds, which should be appropriate to the building and of appropriate variety across the development.



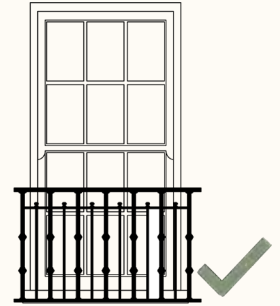
Correct proportions of lintel/arch to window opening



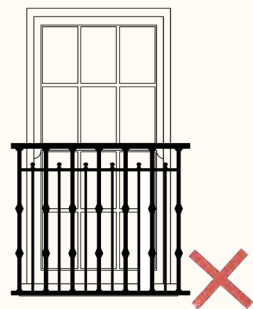
Incorrect proportions of arch/lintel to window opening



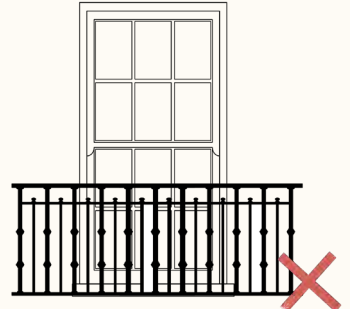
Guardrails should sit within the window jamb



Balcony railings should occupy roughly 1/3 of the window height



Balcony railings must not be higher than half the window height



Balcony railings must not be much wider than the window opening

8.9 Balconies and guardrails

Balconies and balconets are an attractive addition to a façade as well as having a beneficial outdoor space, or a greater sense of space for homes. Likewise, guardrails can be attractive additions to windows, provide opportunities for amenities such as greenery, and allow for greater window lengths. They may be necessary to meet guard height building regulations.

- MUST** Balcony railings and guardrails must be made of cast iron or timber.
- MUST** Guardrails must sit within the window jamb.
- SHOULD** Balconies need not be used on each new building, but they should be used on the Birmingham Road Site.



Good quality balconet design in Lichfield, which doesn't extend beyond a third of the window height, and are only marginally wider than the opening.

8.10 Doors, door surrounds, porches and canopies

Doors should feel sturdy and protective, yet welcoming and attractive. As with its windows, Lichfield has a high-quality precedent of doors.



Left: Open pedimented surround with arch, Right: pedimented surrounded.



Left: Segmental lintel; Right: Flat-arched, trabeated door surround.



Left: Four-centred arch. Centre and Right: Victorian design saw Gothic motifs, such as masonry dressings and 'Venetian' arches.

MUST

Doors must be constructed from timber and be painted. uPVC doors are not permitted.

MUST

Porches and canopies will not feature on all buildings, but where they do, they must be constructed from timber, stone, reconstituted or cast stone or cast iron.

MUST

Porches and canopies must adhere to Lichfield's historic proportions. They must not be far too wide or tall for the opening they cover.

SHOULD

Doors should be painted in a variety of colours.

SHOULD

Where porches are used, the roof pitch and materials should match the building.

SHOULD

Where glazing is incorporated into the door it should match the window style.

8.11 Commercial ground floors

Lichfield's heritage as a market town means many high-quality shop facades remain, making a strong contribution to Lichfield's character. These shop fronts are defined by slim timber or cast-iron mullions, spandrels and multiple window lights, using timber fascia boards.

New shopfronts need not be precise replicas of historical styles, but a similar vernacular can be achieved simply by including certain key elements as outlined in the following code.

Commercial and retail spaces should be flexible spaces to accommodate changing demands over time. Historic forms have proven to be incredibly flexible for use changes, and so make a perfect template for new development.



Ornate shopfronts in Lichfield remain flexible spaces.



Example of simple vernacular mixed-use buildings (built 1993) in a sensitive historic setting, Tarporley, Cheshire.

- MUST** Where a commercial ground floor, or passive provision for one, is specified, the ground floor must be at least 3.5m high.
- MUST** Shop fronts must be constructed from natural materials, including timber, brickwork, masonry and ceramic tiles.
- SHOULD** Fascias should be constructed from durable materials (not plastic) and should be capped by a cornice.
- SHOULD** Shop fronts should include a retractable awning to provide shade and shelter.
- SHOULD** When pilasters are used they should be capped with a capital, console bracket and pediment, aligned with the fascia. These can be but do not need to be ornate.
- SHOULD** Windows should be panelised, and transom lights should be incorporated.

- SHOULD** Shop doors should be glazed and should incorporate a fan light.
- SHOULD** Shop fronts should introduce a variety of colours to the street. Adjacent shop units should not be painted the same colour.

Contemporary commercial ground floors

Contemporary shopfronts and commercial ground floors often reflect a large open plan interior and feature minimal façade design, that allow flexibility of use among contemporary retail and dining businesses.



Contemporary retail and shopfronts must still use brick or stone to define the openings.

- MUST** Contemporary commercial fronts must use masonry or brick to define the openings.
- MUST** Contemporary shopfronts must not be large, horizontally arranged glass facades.



Ground floor shopfronts must not be large, horizontal glass facades.



Lichfield District Design Code Supplementary Planning Document

Cabinet Member for Housing & Local Plan

Date:	9 th April 2024
Agenda Item:	4
Contact Officer:	Lucy Robinson/ Gemma Hill/Patrick Jervis
Tel Number:	01543 308710/ 308706/ 308132
Email:	Lucy.robinson@lichfielddc.gov.uk gemma.hill@lichfielddc.gov.uk / Patrick.jervis@lichfielddc.gov.uk
Key Decision?	YES
Local Ward Members	All wards.



Lichfield
District Council

Cabinet

1. Executive Summary

- 1.1 We have been working with consultants BDP to develop a design code to provide guidance on new development across the district. The code is a tool that will provide clear rules for new development to adhere to, including building heights, conservation and sustainability, among other topics. Following significant stakeholder engagement throughout 2023 the draft Lichfield District Design Code (**Appendix A – [Lichfield District Design Code](#), [Baseline Report](#)**) has now been prepared.
- 1.2 The Design Code needs to be adopted as a Supplementary Planning Document (SPD) and before we can do that, we are required to undertake formal consultation to enable all stakeholders to provide comments on the draft code. Following the consultation, we will review the representations received and make any necessary amendments to the document prior to seeking bringing the final document to Cabinet for adoption.
- 1.3 This report provides a brief update in terms of the progress of the Design Code to date and seeks Cabinet’s approval to consult on the draft SPD and the how this will be done.

2. Recommendations

- 2.1 That Cabinet note the progress of the Lichfield District Design Code to date, including the summary of the responses which were received to the informal consultation held at the end of 2023.
- 2.2 That Cabinet approve the Lichfield District Design Code SPD (**Appendix A**) for the purpose of undertaking public consultation between April 22nd and June 3rd 2024 and approve the approach to consultation as detailed at paragraphs 3.9 to 3.11.
- 2.3 That Cabinet delegate authority to the Cabinet Member for Housing & Local Plan, in consultation with the Policy & Strategy Manager to make any minor typographical and visual amendments to the SPD ahead of public consultation.

3. Background

- 3.1 The [National Planning Policy Framework](#) places an emphasis on achieving good quality design in new development. It enables local authorities to prepare local design codes which can cover all or part of their areas and is a tool that can be used by local planning authorities, communities, and developers to deliver high quality places. It will provide clear rules for new development to adhere to, including

building heights, conservation, and sustainability, among other topics. Local design codes need to be prepared to be consistent with the [National Design Guide](#) and [National Model Design Code](#).

Development of the Lichfield District Design Code

- 3.2 We commissioned BDP to develop and progress a design code to cover the whole of the district in January 2023 with the intention that it would ultimately be adopted as a Supplementary Planning Document (SPD).
- 3.3 Our officers and colleagues from BDP held several community workshops and webinars in March and April 2023 to explain how the design code would be developed and seek input from residents at an early stage. Following the workshops, in April 2023 we ran a community survey which invited residents and other stakeholders to answer a series of questions about the character of their local areas and their preferences to shape the draft design code. Workshops and meetings were also held in March 2023 with relevant council officers.
- 3.4 The draft Design Code is a comprehensive analysis of the environment across the district with all land allocated to one of six area types: Lichfield City Centre, Lichfield Cathedral Precinct, suburban, village, rural and employment. The code guides how building development should look depending on the specific area type within which a development is proposed. The code itself contains many specific coding principles which a development must comply with.
- 3.5 During August and September 2023 the draft design code document was presented to elected members at a series of councillor briefing sessions which provided an opportunity to review and discuss the draft document ahead of informal public consultation which took place in the Autumn of 2023.
- 3.6 Following this, the draft design code was published in November 2023 for informal consultation designed so that residents could provide their views on the draft document to inform any further revisions before it was considered by Cabinet. Residents were invited to review the draft document and take a short survey to give their views.
- 3.7 In total 79 responses to the survey were received from a range of stakeholders including members of the public and those working in the development sector. Table 1 provides a summary of the key themes which have been identified from the responses which were submitted.

Table 1: Design code survey – key themes from survey

Key theme	Response	Action
Density – the minimum densities for the new housing developments for several area types are too high and should be reduced. The higher densities are not reflective of the character of the areas, particularly the historic character.	The proposed densities have been identified having regard to the existing densities of the area types and are considered comparable. National and local planning policy require councils to ensure the best use of land including appropriate densities. If densities are reduced too much this could necessitate a larger number and/or larger in size developments being required to meet housing requirements.	No change recommended.
Biodiversity Net Gain – the design code stating 20% net gain could be unachievable and is higher than the minimum 10% required by government.	National policy requires a minimum of 10% Biodiversity Net Gain. This is a minimum requirement. The required percentage is set out in national and local	Remove reference to the required percentage from the design code. Note that the requirement is set out elsewhere.

Key theme	Response	Action
	policy and within other adopted supplementary planning documents.	
Affordable Housing requirements are not correct with some feeling them as too high and others as too low.	The adopted Local Plan sets out the affordable housing requirements for development within Lichfield District. The design code does not need to replicate this policy as it is set out within the adopted local plan.	Remove reference to the required percentage from the design code. Note that the requirement is set out elsewhere.
Green Spaces – we should require more green spaces within new developments and ensure a greater variety of spaces.	Design code seeks to ensure sufficient, and an appropriate range of green spaces are provided in accordance with local plan policy.	No change recommended.
Infrastructure – insufficient infrastructure is provided alongside new developments within the district.	The design code does not itself deal with the provision of infrastructure. Infrastructure delivery is a matter for the local plan.	No change recommended.
Parking and streets – people favour parking to the front of properties, but the code only allows for this in limited circumstances.	The design code allows for a range of parking options which will enable improved street scenes.	No change recommended.
Design/Architecture/Materials – current developments are ‘generic’ and could be anywhere. Want to see new developments having character which is distinctive.	Design code provides requirements for design to deliver higher quality development which meets the standards set out in the design code.	No change recommended.
Incorrect area classification and/or comments relating to specific area or errors in mapping.	Comments reviewed and where errors are present this will be corrected.	Make changes to draft code to correct any errors/classifications.
Waste Management - a developer commented and requested for the wording to be weakened in the design code.	Comments reviewed and liaison has taken place with the waste management team.	No change recommended.
Arboriculture - a developer commented and requested for the wording to be weakened in the design code regarding street trees and trees in verges.	Considered appropriate to require trees within highway verges as including within front gardens could risk trees being removed at a later stage. For other comments the design code provides sufficient flexibility.	No changes recommended

3.8 The design code document has been revised following the recent consultation and a final draft document has now been produced (**Appendix A**) for the purposes of statutory public consultation. Paragraphs 3.9 to 3.11 detail the consultation requirements and proposals for the SPD.

Consultation proposals

- 3.9 The legislative requirements to produce supplementary planning documents are set out in [The Town and Country Planning \(Local Planning\) \(England\) Regulations 2012](#). This requires the document to be subject to public consultation for a minimum of four weeks. The council's adopted [Statement of Community involvement](#) (SCI) states that the council will commit to consultation on SPD's for a minimum of four weeks and a maximum of six. Given the importance of the Design Code SPD for the district it is proposed that an extended six-week consultation period take place between 22 April 2024 and 3 June 2024.
- 3.10 Table 3.2 of the adopted SCI sets out the consultation approaches the council will use as a minimum when consulting on SPDs. A consultation statement setting out the approach to consultation is included at **Appendix B**. The following consultation methods which are in accordance with the SCI are proposed:
- Publish the Lichfield Design Code SPD on our website and consultation portal.
 - Publish the document and make available upon request at District Council House.
 - Issue a press release and promote the consultation using our corporate social media channels (Facebook and 'X').
 - Make the document available in alternative formats where requested.
 - Notification emails to be sent to all stakeholders (individuals, organisations or bodies) that the council considered would be affected or interested in the SPD.
- 3.11 Representations received during the consultation will be considered and where appropriate changes to the Design Code SPD will be made prior to the final document being reported to Cabinet for adoption.

Alternative options	<ol style="list-style-type: none"> 1. Cabinet determines that the proposed Lichfield District Design Code SPD requires further amendments prior to public consultation. These amendments would need to be considered and actioned prior to formal consultation being undertaken. Cabinet could delegate authority for such changes to the Cabinet Member. 2. Cabinet could decide not to consult upon the proposed SPD. Without such consultation it would not be legally possible for the council to adopt the document as an SPD.
Consultation	<ol style="list-style-type: none"> 1. Informal public consultation, workshops and webinars have taken place on the draft Design Code SPD on several occasions as it has progressed. A summary of the consultation responses received to the informal consultation is included within this report. 2. Member briefing sessions have been held in respect of the draft design code. 3. There will be further formal public consultation for a minimum of four weeks on the SPD. The proposals for this are set out within this report.
Financial implications	<ol style="list-style-type: none"> 1. Officer time will be required to run the consultation on the SPD and will be delivered by the Policy & Strategy service and our Communications team. 2. The costs of the consultation will be met within the approved budget for the Design Code SPD project and utilise the council's consultation portal.
Approved by Section 151 Officer	Yes

Legal implications	1. Formal consultation for a minimum period of four weeks is required for a SPD prior to this being adopted by the Council. The consultation proposals set out within the report meet the legal requirements.
Approved by Monitoring Officer	Yes
Contribution to the delivery of the strategic plan	<ol style="list-style-type: none"> 1. Supports the priority of 'Enabling People' through informing the design of new development and specific requirements development will need to meet informed by public consultation so they can live healthy and active lives. 2. Supports the priority of 'Shaping Place' by providing a transparent and more scrutiny driven approach for working with stakeholders and infrastructure providers and enables CIL receipts to be allocated to strategic infrastructure within the district to enhance the quality of place. 3. Supports the priority of being a 'Good Council' by accountability, transparency, and responsiveness by providing further guidance as to the requirements proposed developments will be expected to meet.
Equality, diversity and human rights implications	An equality impact assessment of the draft design code document has been undertaken.
EIA logged by Equalities Officer	Yes. The EIA is attached as Appendix C .
Crime & safety Issues	There are no crime and safety issues.
Data assessment	<ol style="list-style-type: none"> 1. The design code covers the whole district and will positively impact various wards. The code promotes good design of homes and includes an increase in expectation of developers to build bungalows on new larger developments. This will improve the health and wellbeing of residents in the wards where there are new developments. 2. The code will be applied to approximately 200+ new homes each year.
Environmental impact (including climate change and biodiversity)	<ol style="list-style-type: none"> 1. The requirements of the design code include ecological enhancement measures that will be integrated into new developments including landscaping and planting to increase biodiversity, hibernacula creation, wildlife pond creation, and species boxes i.e., for birds, bats, bees, and hedgehogs which should improve the environmental impact of new dwellings. 2. The Design code will reflect national policy on Biodiversity Net Gain(BNG) and be flexible to allow for future changes in policy.
GDPR / Privacy impact assessment	A Privacy Impact Assessment has been completed.

	Risk description & risk owner	Original score (RYG)	How we manage it	New score (RYG)
A	Objections and/or concerns are raised on the content of the draft Lichfield District Design Code SPD	Likelihood: Yellow Impact: Green Risk: Green	Officers to review all representations received to the consultation and proposed changes to the document where these are considered appropriate. The final version of the document will then need to be prepared and reported to Cabinet for adoption along with an explanation as to any changes made to the document as a result of the consultation.	Likelihood: Green Impact: Green Risk: Green
B	Challenge to the consultation process used for the draft Lichfield District Design Code SPD	Likelihood: Green Impact: Yellow Risk: Yellow	Ensure that consultation has been planned and undertaken in accordance with the regulations and the council's adopted SCI.	Likelihood: Green Impact: Green Risk: Green

Background documents	Statement of Community Involvement 2020 National Design Guide National Model Design Code
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Relevant web links	The Town and Country Planning (Local Planning) (England) Regulations 2012 National Planning Policy Framework
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APPENDIX B



Lichfield
District Council

Lichfield District Design Code Supplementary Planning Document (SPD) Consultation Statement

April 2024

1. Introduction

This Consultation Statement for the Lichfield District Design Code Supplementary Planning Document (SPD) sets out how the public and other stakeholders will be consulted upon the SPD. The statement has been prepared in accordance with Regulation 12(a) of the [Town and Country Planning \(Local Development\) \(England\) Regulations 2012](#) and supports the Lichfield District Design Code SPD.

The Lichfield District Design Code SPD has been in development since January 2023. The council commissioned consultants BDP to develop and progress a design code to cover the whole of Lichfield District and which would ultimately be adopted as an SPD.

The draft design code was developed following several rounds of public and stakeholder engagement prior to formal consultation required by the regulations. This engagement included:

- March 2023 - Several community workshops and webinars were held to explain how the design code would be developed, its purpose and to seeking input from residents and stakeholders at an early stage.
- April 2023 – Community survey undertaken with stakeholders invited to answer a series of questions about the character of their local areas and their design preferences to shape the design code document.
- November 2023 – a draft design code document was published for informal consultation which was designed so that residents and other stakeholders could provide their views on the draft document before a final document was prepared for formal consultation.

The Lichfield District Design Code SPD will now be subject to formal consultation, in accordance with Regulation 12(b) between 22nd April and 3 June 2024.

Following the consultation period this statement will be expanded to include a summary of the comments received during the consultation period, including how the issues have been addressed in working towards the final SPD for adoption.

2. Consultation Regulations

The Lichfield District Design Code SPD has been prepared in accordance with the [Town and Country Planning \(Local Development\) \(England\) Regulations 2012](#). The relevant regulations relating to the consultation process are explained below.

Regulation 12(a) requires that before the council adopts a supplementary planning document it must prepare a consultation statement setting out who was consulted, a summary of the main issues raised, and how these issues have been addressed in the final SPD.

Regulation 12(b) requires the SPD to be published, alongside a consultation statement, for a minimum of four weeks. The council must specify when responses should be received and provide details of where responses should be sent. This document represents the consultation statement required by the regulations and Section 4 sets out the approach to consultation including details of when and where responses should be made.

Following the consultation this statement will be updated to include details of those stakeholders consulted, a summary of the responses received and how the issues raised have been addressed.

Regulation 13 makes clear that any person wishing to make representation to the consultation must do so by the end of the consultation period.

Regulation 35 sets out how the council should make the document available during the consultation. The council are required to publish the draft SPD on its website and make the document available at its principal office and any other places which the council considers appropriate.

3. Statement of Community Involvement

The council's adopted [Statement of Community Involvement](#) sets out the approaches which the council will use when consulting upon supplementary planning documents, in accordance with the required regulations. The adopted SCI states that the council will consult upon SPDs for a minimum of four and maximum of six weeks and specifies the additional measures the council will use when consulting which go beyond the statutory requirements.

4. Consultation Approach

The draft Lichfield District Design Code SPD consultation will take place for a period of 6 weeks between 22 April 2024 and 3 June 2024. Any comments made on the SPD must be received by 23:59 on 3 June 2024.

All comments must be made via the following methods:

- Online through the council's [planning policy consultation portal](#).
- By email to developmentplans@lichfielddc.gov.uk.
- By post to Policy and Strategy, District Council House, Frog Lane, Lichfield, WS13 6YZ.

In accordance with the Town and Country Planning (Local Development) (England) Regulations 2012 and the SCI the following consultation methods will be used:

- Publish the Lichfield Design Code SPD on the councils website and [planning policy consultation portal](#).
- Publish the document and make available on request at the council's main offices at District Council House.
- Issuing of a press release and promotion of the consultation using the Council's corporate social media channels (including [Facebook](#) and 'X').
- Document to be made available in alternative formats where requested.
- Notification emails sent to all stakeholders (individuals, organisations or bodies) that the council considered would be affected or interested in the SPD.

Equality impact assessment

Lichfield District Design Code Supplementary Planning Document (SPD) Consultation



Section 1: About the service area

Your name:	Patrick Jervis
Your service area:	Policy & Strategy
Your assistant director:	Kerry Dove
Your cabinet member:	Alex Farrell

Section 2: Overview

Name of service/policy you are assessing:	Lichfield District Design Code Supplementary Planning Document (SPD)
Detail of proposed change:	The Lichfield District Design Code SPD, once adopted, will be used by the District Council when it determines planning applications. The design code sets out the detailed parameters and expectations that the Council has for new development. The majority of developments covered by the Design Code SPD are residential developments; however the Code also applies to employment developments such as new offices, factories and warehouses. The Design Code SPD will be subject to formal consultation as required by the Town and Country Planning (Local Planning) (England) Regulations 2012 . The consultation will be undertaken in accordance with the requirements of the regulations and the council's adopted Statement of Community involvement (SCI).
Main users of your service/policy	<ul style="list-style-type: none"> ▪ Developers and the development industry stakeholders ▪ Mixture of residents and visitors ▪ Visitors to the district ▪ Users of a specific service (e.g. planning) ▪ Internal (employees) ▪ Disability specific groups ▪ Race specific groups ▪ Gender specific groups ▪ Religious groups ▪ Sexual orientation groups ▪ Marriage and civil partnerships ▪ Older people ▪ Young people

Section 3: About the proposed change

The introduction of the Lichfield District Design Code SPD, once adopted, will introduce new guidance to those submitting planning applications as the design requirements for development in the district. The document will be used by members of the community to understand the design which the council will require when new housing and employment development comes forward within the district. The Design Code has been subject to several rounds of informal consultation and engagement with our communities prior to statutory consultation.

The Design Code SPD will be subject to formal consultation as required by the [Town and Country Planning \(Local Planning\) \(England\) Regulations 2012](#). The consultation will be undertaken in accordance with the requirements of the regulations and the council's adopted [SCI](#). The SCI was subject to EIA when adopted in 2020.

Section 4: How will your plans impact on customers with protected characteristics?

Protected characteristic	Positive impact	Negative impact	Mitigating measures
Age ranges (all working age claimants)	Impacts considered to be neutral. The design code does not contain specific requirements relating to defined age groups. The design code will supplement adopted planning policy which includes policies which consider all age groups within the district.	No.	Not applicable.
Disability (physical, sensory or learning)	Impacts considered to be positive. The design code contains specific requirements relating to inclusive design and adaptability, this requirement will mean development should be designed to be adaptable to meet person's needs. The design code will supplement adopted planning policy which includes policies which consider all age groups within the district.	No.	Not applicable.
Carers or the people cared for (dependants)	Impacts considered to be positive. The design code contains specific requirements relating to inclusive design and adaptability, this requirement will mean development should be designed to be adaptable to meet person's needs. The design code will supplement adopted planning policy which includes policies which consider all age groups within the district.	No.	Not applicable.
Gender/sex	Impacts considered to be neutral. The design code does not contain specific requirements relating to gender and sex. The design code will supplement adopted planning policy which includes policies relating to sustainable communities which are underpinned by community cohesion, inclusivity.	No.	Not applicable.

Protected characteristic	Positive impact	Negative impact	Mitigating measures
Transgender/gender reassignment	Impacts considered to be neutral. The design code does not contain specific requirements relating to transgender and gender reassignment. The design code will supplement adopted planning policy which includes policies relating to sustainable communities which are underpinned by community cohesion, inclusivity.	No.	Not applicable.
Race (includes ethnic or national origins, colour or nationality)	Impacts considered to be neutral. The design code does not contain specific requirements relating to race. The design code will supplement adopted planning policy which includes policies relating to sustainable communities which are underpinned by community cohesion, inclusivity.	No.	Not applicable.
Gypsies and travelers	Impacts considered to be neutral. The design code does not contain specific requirements relating to gypsies and travelers. The design code will supplement adopted planning policy which includes policies relating to meeting the accommodation needs of the Gypsy and Traveller community.	No.	Not applicable.
Refugees / asylum seekers	Impacts considered to be neutral. The design code does not contain specific requirements relating to refugees and asylum seekers.	No.	Not applicable.
Sexual orientation	Impacts considered to be neutral. The design code does not contain specific requirements relating to sexual orientation. The design code will supplement adopted planning policy which includes policies relating to sustainable communities which are underpinned by community cohesion, inclusivity.	No.	Not applicable.

Protected characteristic	Positive impact	Negative impact	Mitigating measures
Marriage and civil partnerships	Impacts considered to be neutral. The design code does not contain specific requirements relating to marriage and civil partnerships.	No.	Not applicable.
Religion or belief (includes lack of belief)	Impacts considered to be neutral. The design code does not contain specific requirements relating to religion or belief (including lack of). The design code will supplement adopted planning policy which includes policies relating to sustainable communities which are underpinned by community cohesion, inclusivity.	No.	Not applicable.
Pregnancy and maternity	Impacts considered to be neutral. The design code does not contain specific requirements relating to marriage and civil partnerships.	No.	Not applicable.
Other (please specify)	Not applicable.	Not applicable.	Not applicable.

Section 5: Can you justify and evidence, or lessen any impact?

Justification/evidence in relation to the proposed changes:
No negative impacts are identified.

Section 6: Action plan

No negative impacts are identified.

Section 6: Record your actions

Sent this to the Equalities Team for publication on www.lichfielddc.gov.uk	
Date completed:	12/03/2024

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DELIVERING TEMPORARY ACCOMMODATION FOR VULNERABLE RESIDENTS



Lichfield
District Council

Cllr Doug Pullen, Leader of Lichfield District Council

Date:	9 April 2024
Agenda Item:	5
Contact Officer:	Lizzie Barton
Tel Number:	01543 308060
Email:	lizzie.barton@lichfielddc.gov.uk
Key Decision?	Yes
Local Ward Members	N/a

CABINET

1. Executive summary

- 1.1 This paper introduces a proposal for the council to directly intervene and invest in the current under-provision of temporary accommodation across our district, where it is needed.
- 1.2 There are approximately 32 local individuals and families living in temporary accommodation in our district at any one time, with another five individuals / families who may need to be supported in the short-term. Every year, the council spends approximately £80,000 on this emergency accommodation to support local residents.
- 1.3 Due to a shortage of temporary accommodation in the district, families and individuals are often placed in emergency B&B accommodation, often outside of the district and away from the support networks and local facilities they rely on.
- 1.4 Currently the council holds more than £1.8million in commuted sums and Right to Buy receipts. A commuted sum is something the council can negotiate to receive, where affordable housing cannot be delivered within a housing development site (for example due to land constraints). The council can then invest the commuted sum off-site in affordable housing. The council also receives Right to Buy receipts, generated through Right to Buy sales of the housing stock transferred to Homezone (now Bromford), which can also be used to invest in affordable housing. 2
- 1.5 The council is also expecting to receive a further £1 million in commuted sums in the coming years, although there is no set date for when these receipts will be received, as it will depend on the progress of each related development.
- 1.6 The proposal set out in this paper is for these funds to be invested, through our wholly owned company (LWM Traded Services), to deliver more temporary accommodation across the district, including more 'housing first' housing pathway scheme units to support local rough sleepers.

2. Recommendations

- 2.1 Cabinet approves the spend of commuted sums and Right to Buy receipts, projected to the end of the current financial year, on delivering new temporary accommodation in the district and to delegate the selection of units to the Cabinet Member for Housing & the Local Plan, S151 Officer and Assistant Director for Customer, Resident & Business Services, subject to a completed options appraisal (see 2.3) and council approval of option 2.4.

- 2.2 Cabinet requests the purchase, refitting and management of the properties purchased using the funding agreed, for the purpose of delivering new temporary accommodation is carried out by the council's wholly owned company LWM Traded Services Ltd.
- 2.3 Cabinet acknowledges that a wrap-around support package will be required to ensure the welfare of individuals and families placed in the temporary accommodation units and the ongoing maintenance and management of units delegates the delivery of an options appraisal into the most effective support package delivery model to the Cabinet Member for Housing & the Local Plan, the S151 Officer and Assistant Director for Customer, Resident & Business Services, subject to the costs of the delivery being within approved budgets.
- 2.4 Cabinet recommends to Council to increase the approved budget in the capital programme for new temporary accommodation in the district by **£979,000** from **£1,178,000** to **£2,157,000** with funding provided by additional projected housing capital receipts of **(£979,000)**. Future commuted sums and capital receipts may be allocated to further affordable housing as part of the normal budget monitoring process.

3. Background

Emergency accommodation

- 3.1 There is a limited supply of temporary/emergency accommodation units in the district. The units managed by Bromford on behalf of the district council have very high occupation rates and are generally full, apart from void and turn-around times.
- 3.2 At any anyone time there is usually around 32 individuals/families in temporary accommodation, with approximately five further individuals/families who may imminently need it.
- 3.3 Every year, the council spends approximately £80,000 on temporary accommodation to support local residents, including families with children.
- 3.4 Oftentimes this accommodation can be emergency bed and breakfast accommodation, and oftentimes outside of the district. Bed and breakfast accommodation offers limited/no cooking facilities, and limited facilities outside of the bedroom, making it unsuitable for long-term placements. Legally most placements in bed and breakfast accommodation should be no more than six weeks.
- The average time homeless families spend in B&B accommodation in the district is 4.5 weeks.
 - The average time single people spend in B&B accommodation in the district is 6 weeks.

'Housing first' – housing pathway scheme accommodation

- 3.5 The council has six 'housing first' housing pathway scheme units. The units are occupied by ex-rough sleepers who, in line with 'housing first' principles, have been moved into the units despite having had significant difficulties managing tenancies in the past. Wrap around support for the tenants is currently provided by [Spring Housing](#), a housing charity that specialises in providing homes for those in greatest need.
- 3.6 Four of the units are occupied by individuals who have now successfully maintained a tenancy for several years, thanks to wrap around support provided by Spring, but who still have high support needs. Whilst ideally the ambition would be to now move these customers onto new general needs properties and free-up the housing pathway scheme units for new rough sleepers, the concern is that moving such customers away from a home that has now become their safe haven, may result in them falling back onto the streets, thereby undoing the good work achieved over the past few years.

3.7 As an alternative, the council is keen to replace four of the six units, so that the current successful tenants can remain in their homes indefinitely, with a new package of tapering support provided by Spring for the remainder of the contract period (subject to contract negotiations), and four more previous rough sleepers can be moved into the new units under the existing package of support provided by Spring.

Bore Street shops units

3.8 The council has already approved the investment of £360,000 to support the redevelopment of five city centre affordable housing units. These units will be utilised to support individuals and couples who need to move on from emergency B&B and temporary accommodation to a more secure home, but who have less acute support needs and for whom being city centre based will be beneficial vs potentially challenging. These units should come into operation by the end of 2024 and a package of support will need to be identified for these units as part of the options appraisal.

Alternative options	Committed sums can only be invested into affordable housing. As such, the alternative option is to not invest the funds at this present time, however some committed sums have a clawback period, so it is vital that the sums are invested to deliver positive outcomes in a timely fashion.
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Consultation	Consultation has taken place with the council’s housing strategy team, housing team and with Bromford Housing who has confirmed there is a great need for additional temporary accommodation units across the district.
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Financial implications	The funds available to support temporary accommodation in the district and the amount in the approved capital programme are shown below:			
		Projected 31/03/2024 £000s	36a Bore Street £000s	Affordable housing £000s
	Housing Capital Receipts from former Right to Buy	£1,339	£360	£979
	Affordable Housing Committed Sums	£860	£0	£860
	Funding provided by External Grant	£450	£132	£318
	Total Available	£2,649	£492	£2,157
	Conversion of 36a Bore Street	£492	£492	£0
	Affordable Housing Monies	£1,178	£0	£1,178
	Approved Budgets in the Capital Programme	£1,670	£492	£1,178
	Additional budget to be added to the capital programme			£979
	Recommended revised budget			£2,157
Approved by Section 151 Officer	Yes – awaiting comment from PWC on tax implications. May			

Legal implications	Legal implications will be incorporated and fully explored in the options appraisal (see 2.3).
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Approved by Monitoring Officer	Yes
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Contribution to the	The council’s current Strategic Plan 2020 to 2024 sets out an ambition to enable people to live healthy and active lives, as well as help themselves and others. It also
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delivery of the strategic plan	sets out an ambition to develop prosperity and invest in the future. This proposal to invest commuted sums and Right to Buy receipts into affordable housing will both help people to live healthy lives, it will also give people springboard back into the employment market longer-term to develop their own economic prosperity long-term.
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Equality, diversity and human rights implications	The allocation of new temporary accommodation properties will be delivered in line with the council's existing homelessness policies which have been subject to an equality impact assessment.
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EIA logged by Equalities Officer	Equalities Officer confirmed new EIA not required.
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Crime & safety issues	The creation of further housing pathway scheme units will help to address concerns around the welfare and safety of rough sleepers locally.
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Data assessment	<ul style="list-style-type: none"> The council spends approximately £80,000 on temporary accommodation to support local residents including families with children. The average time homeless families spend in B&B accommodation in the district is 4.5 weeks. The average time single people spend in B&B accommodation in the district is 6 weeks. The data gathered on housing need demonstrates that most people waiting on the housing register prefer to live in Chase Terrace, Boley Park or Curborough wards. Register for social housing – How many homes are there and how long could I wait? According to the Social Progress Index, the areas with the highest housing need (highest claimants of housing benefit and highest number of homelessness applications are Chadsmead, Stowe, Curborough and Chasetown.
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Environmental impact (including climate change and biodiversity)	N/a
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GDPR / Privacy impact assessment	N/a
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	Risk description & risk owner	Original score (RYG)	How we manage it	New score (RYG)
A	Committed sums need to be returned to developer through lack of timely investment.	Likelihood: Red Impact: Red Score: Red	Develop a robust plan to spend committed sums in line with strategic objectives.	Likelihood: Green Impact: Green Score: Green
B	Homes procured by Lichfield District Council subject to right to buy legislation.	Likelihood: Red Impact: Red Score: Red	Temporary homes will be let through licence, avoiding right to buy legislation and ensuring permanence in delivery of temporary/emergency accommodation to local vulnerable residents.	Likelihood: Green Impact: Green Score: Green
D	Full housing benefit cannot be claimed in relation to supported accommodation provision, due to status of property leaseholder	Likelihood: Red Impact: Red Score: Red	Deliver full options appraisal on leaseholders in relation to new units, to ensure full benefit can be claimed in relation to services provided.	Likelihood: Green Impact: Green Score: Green

Background documents	Council on 14 July 2020 - Housing, Homelessness and Rough Sleeping Strategy (allocation of Right to Buy Receipts to support delivery of this Strategy)
Relevant web links	

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Skateboard Facility at Burntwood Leisure Centre

Deputy Leader and Cabinet Member leisure, Parks and Major projects

Date:	9 April 2024
Agenda Item:	6
Contact Officer:	Andrew Rowbotham
Tel Number:	07771 553794
Email:	Andrew.rowbotham@lichfielddc.gov.uk
Key Decision?	NO
Local Ward Members	Chasetown Ward- Councillor Darren Ennis and Councillor Laura Ennis



Lichfield
District Council

Cabinet

1. Executive Summary

- 1.1. The current skate park provision is located at Cherry Close in Burntwood at the rear of the Cherry Close Youth Centre.
- 1.2. Staffordshire County Council (SCC) are due to redevelop the site which includes the removal of the skate park and building on site. The current skate park is not suitable to be relocated and as such SCC will remove with no cost to the Council.
- 1.3. Council now proposes to install a skate park at Burntwood Leisure Centre to ensure the provision for local groups is still available
- 1.4. An initial costing exercise has taken place, this has indicated to put in a new provision will be possible for the budget.
- 1.5. **Annex A** provides an outline proposal.
- 1.6. Full plans will need to be drawn up along with applying for planning permission and permission from the Coalfield Industry Social Welfare Organisation (CISWO) who own the land that the Council lease for the Burntwood Leisure Centre.

2. Recommendations

- 2.1. Cabinet approves the installation of a new Skatepark facility at Burntwood Leisure Centre with operational management and responsibility for maintenance assigned to the District Council.
- 2.2. Cabinet delegate to the Deputy Leader and Property Services and Estates Manager responsibility to agree all necessary agreements to facilitate the project subject to financial implications being within Approved Budgets.
- 2.3. Cabinet recommends to Council to include a project in the Capital Programme for the new Skateboard Facility of **£106,000** with **(£86,000)** of funding provided by Section 106 and a contribution from Burntwood Town Council of **(£20,000)**.

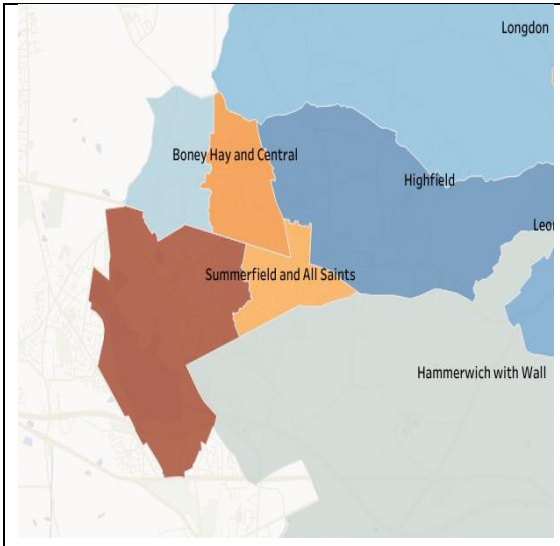
3. Background

- 3.1. The current skate park provision is located at Cherry Close in Burntwood.
- 3.2. The Council held a lease with SCC for the skate park and this lease has now ended.
- 3.3. SCC are due to redevelop the site which includes the removal of the skate park and building on site. The current skate park is not suitable to be relocated and as such SCC will remove with no cost to the Council.

- 3.4. The Council are committed to preserving and developing leisure activities in the district as evidenced by the recent approval of leisure investment across the District including the new Leisure Centre at Stychbrook Park, and therefore working together with Burntwood Town Council a replacement facility is proposed.
- 3.5. This facility will ensure skaters of the district will continue to have a place to practice, meet, and enjoy the facilities in a safe and secure location.

Alternative options	<ul style="list-style-type: none"> To not replace the facility. To advocate for replacement of the facility by Staffordshire County Council or another organisation. The skate park is provided at a different park within the Burntwood locality. More funding is identified, and a larger, managed facility is installed.
Consultation	Consultation has been undertaken with Ward Members and any views provided will be shared with Cabinet.
Financial implications	<p>The projected capital cost of the new facility in 2024/25 is £106,000 and funding will be provided by Section 106 retained by the District Council of (£86,000) and a contribution of (£20,000) from Burntwood Town Council.</p> <p>The costs of operating and maintaining the new facility will be funded from existing Approved Revenue Budgets.</p>
Approved by Section 151 Officer	Yes
Legal implications	<ol style="list-style-type: none"> Subject to approval from the Coalfield Industry Social Welfare Organisation (CISWO) given the Council lease the land. Subject to approval from Planning Committee. Annual Royal Society for the Prevention of Accidents (ROSPA) inspection required annually.
Approved by Monitoring Officer	Yes
Contribution to the delivery of the strategic plan	<p>This facility will support the strategic plan through:</p> <ol style="list-style-type: none"> Healthy communities Making the district more active Supporting local youth with free to use facilities in Burntwood
Equality, diversity and human rights implications	An Equalities Impact Assessment will be required.
EIA logged by Equalities Officer	Yes
Crime & safety Issues	BLC has had in the past significant Anti-Social Behaviour. Since Lichfield West Midlands Traded Services (LWMTS) has taken over running of the centre there has been a significant reduction using onsite security and the installation of new Closed-Circuit Television (CCTV) across the exterior and interior of the site. However as recent as February 2024 youths broke into the High Voltage (HV) station at the rear of the site, triggering a power outage, resulting in a closure of the pools on the following day.

	<p>There is a real risk that a skate park bringing additional Anti-Social Behaviour (ASB) to the Leisure Centre vicinity, this could then bring on additional costs that will need to be passed to the Council from LWMTS around onsite security.</p> <p>The centre staff do have a good relationship with local police and community safety officer. However general management of any ASB will be down to the centre staff to manage, possibly placing them at further risk.</p> <p>The location of any new skate park at BLC will need constant supervision and management. The previous facility at Cherry Close was subject to significant ASB, from local youths, drug dealing, setting of fire, letting off fireworks and abuse to BLC centre users on the Astro pitch.</p> <p>As a high-risk sport / facility any injuries will need to be supported by centre staff until emergency services can attend site, with significant national press around response times from the National Health Service (NHS) any injuries could use significant BLC staff time dealing with these things as the park would be on our site and therefore our responsibility.</p>
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<p>Data assessment</p>	<p>The facility will be in the Chasetown Ward and is surrounded by the areas shown below and the main components of the Social Progress Index (scores are 0 to 100 where 0 signifies worst and 100 best performance) for the Ward is summarised below:</p> <div data-bbox="411 952 1500 1496" style="border: 1px solid black; padding: 5px;">  <ul style="list-style-type: none"> • Social Progress Index 42.6 being 22 out of 22 Wards. • Basic Human Needs 46.3 ranked 20 out of 22. • Foundations of Wellbeing 46.3 ranked 22 out of 22. • Opportunity 36.0 ranked 22 out of 22. </div> <p>The replacement facility will potentially improve some of these elements at both the Ward and District level.</p>
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<p>Environmental impact (including climate change and biodiversity)</p>	<p>No implications from this proposal.</p>
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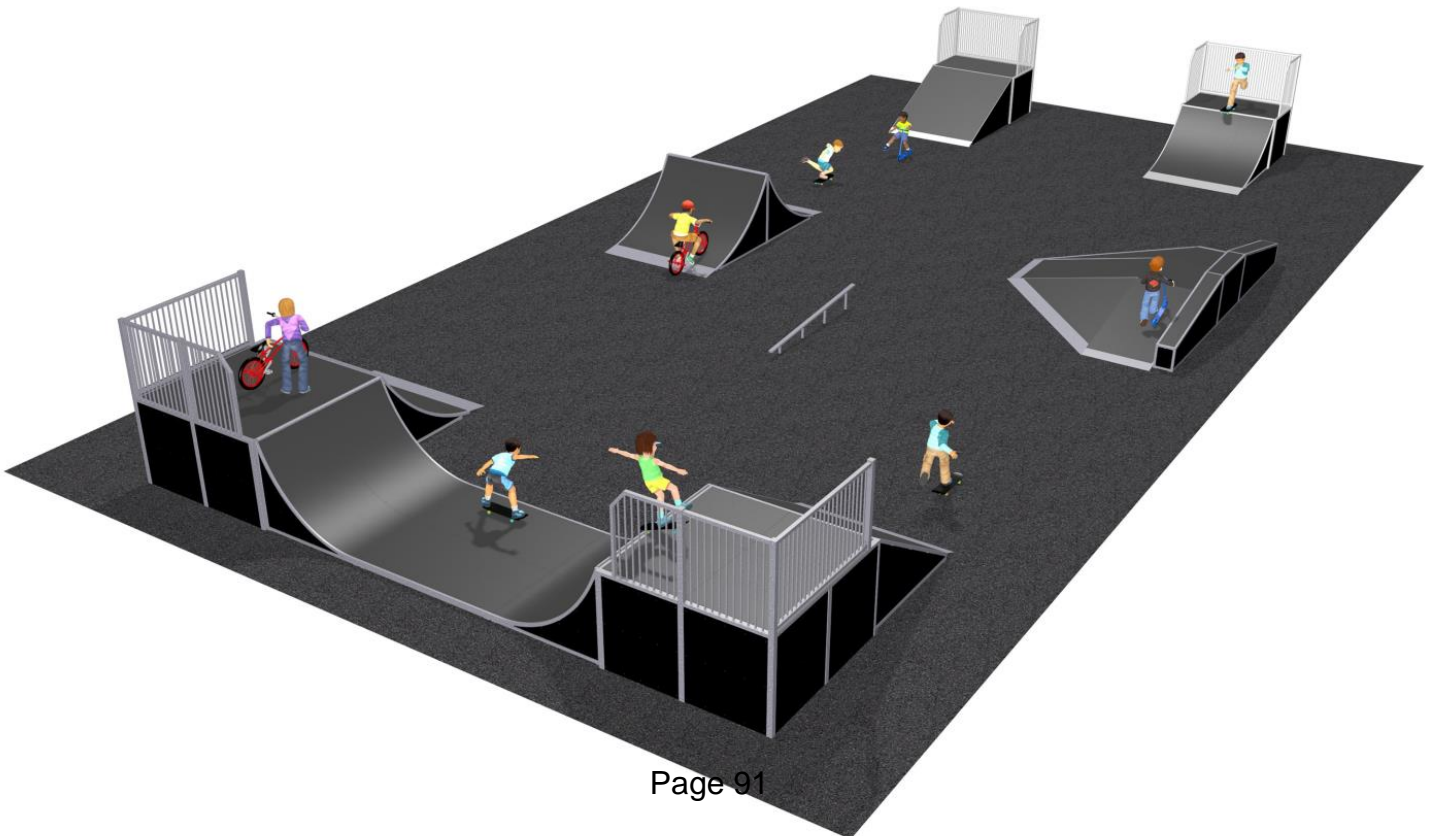
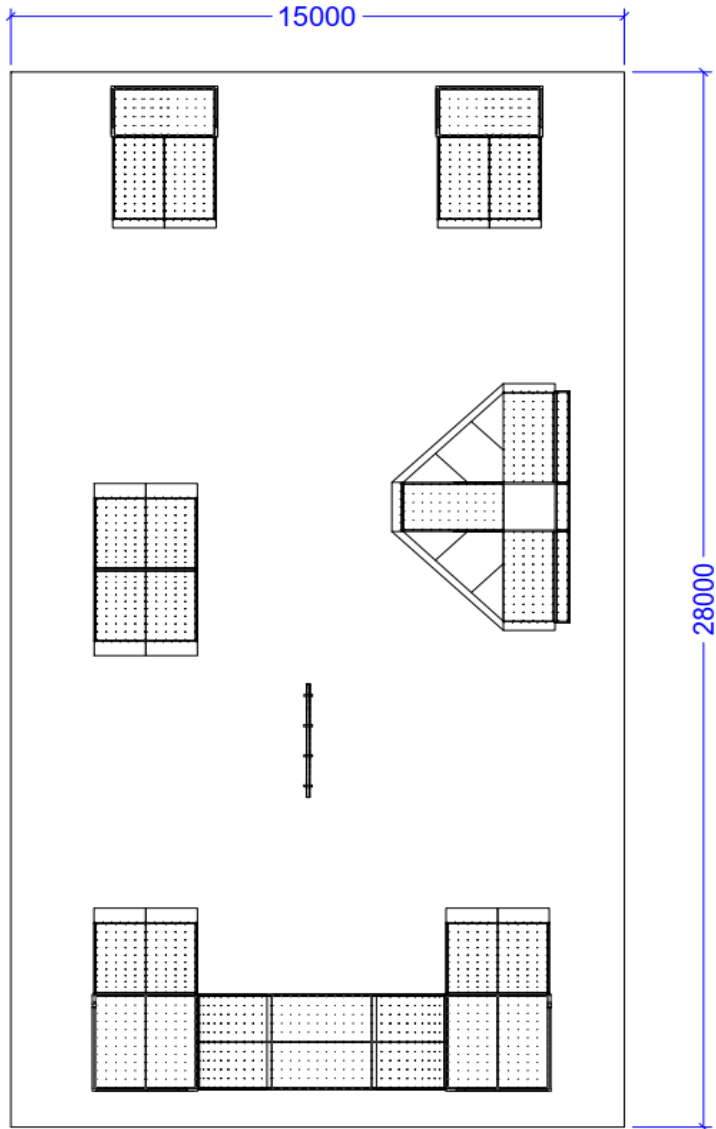
<p>GDPR / Privacy impact assessment</p>	<p>No implications from this proposal.</p>
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	Risk description & risk owner	Original score (RYG)	How we manage it	New score (RYG)
A	The capital cost of the new facility exceeds the Approved Budget	Risk - Yellow Likelihood: Yellow Impact: Yellow	The project will be managed through LWMTS and will use an experienced project manager. The Leisure Services manager will also be involved in the process. LWMTS will go out to 3 companies for quotes in line with the Council's Contract Procedure Rules, a maximum budget will be assigned for tender to ensure the project does not go beyond allocated funding.	Risk - Yellow Likelihood: Green Impact: Yellow
B	The operational and maintenance cost for the facility cannot be managed within Approved Revenue Budgets	Risk - Yellow Likelihood: Yellow Impact: Yellow	The facility will be managed by LWMTS located at Burntwood Leisure Centre. It is expected that as this is a new facility 5 year maintenance will be low. The Skateboard Park will be subject to an annual ROSPA inspection.	Risk - Yellow Likelihood: Green Impact: Yellow
C	CISWO do not grant approval for the installation onto their land	Risk - Yellow Likelihood: Yellow Impact: Yellow	LDC Property will write to CISWO requesting permission explaining the positive impact to the local community and that the skate park will be a free to use facility.	Risk - Yellow Likelihood: Yellow Impact: Yellow
D	Planning permission is required and will include statutory consultees to include sport England, based on playing pitches on site they may object.	Risk - Yellow Likelihood: Yellow Impact: Yellow	We will look to work with an experienced installer/contractor in advance of submission of the application on site to find the best possible location.	Risk - Yellow Likelihood: Yellow Impact: Yellow

Background documents	Approved Medium Term Financial Strategy – Council 27 February 2024.
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Relevant web links	
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Exact Layout and Location at BLC to be agreed

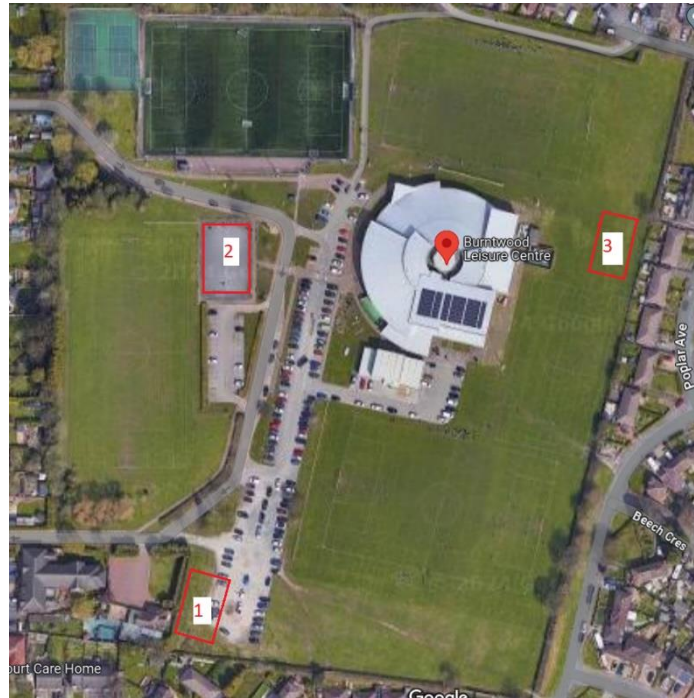


Possible Location options at BLC – Agreement needed before submission of planning application

Location 1 – Overflow car park. This site will remove around 20 parking spaces from the overflow car park during peak times. Located next to residential this may bring objections due to proximity. Located in the corner this site would be subject to the most ASB.

Location 2 – Basketball court. This site will remove the basketball court which is not often used. It would likely come with a reduction in cost as the existing surface could likely be used. It would also be more secure as it is currently fenced and gated. This location would come with less ASB and is easier to watch over by centre staff. It could also be locked off during the evenings.

Location 3 – Rear of the centre. This location is between two playing pitches. We would expect objection from Sports England on this location and local residents as it backs onto residential property.



Lichfield District 2050 Strategy

Leader of the Council, Cllr Doug Pullen

Date: 9 April 2024

Agenda Item: 7

Contact Officer: Kerry Dove

Tel Number: 01543 308068

Email: Kerry.dove@lichfielddc.gov.uk

Key Decision YES

Local Ward N/A.

Members



Lichfield
District Council

Cabinet

1. Executive Summary

- 1.1 This report presents the Council's new strategic plan – Lichfield District 2050 Strategy – for approval by Cabinet prior to being considered by Full Council.
- 1.2 This report summaries how the Strategy has been developed, including the key findings from the public consultation on the draft strategy.

2. Recommendations

That Cabinet:

- 2.1 Reviews the key findings from the public consultation on the draft strategy and agrees the amendments made to the strategy as a result
- 2.2 Reviews the feedback from Overview and Scrutiny Committee on the consultation results, the Strategy and the Delivery Plan.
- 2.3 Endorses the Lichfield District 2050 Strategy and recommends its adoption by Full Council (Appendix B)
- 2.4 Agrees the Year 1 Delivery Plan (Appendix C)
- 2.4 Delegate finalising the details of the Lichfield District 2050 Strategy and the Year 1 Delivery Plan to the Leader of the Council and the Chief Executive, prior to final publication

3. Background

- 3.1 A strategic plan set out the medium-term ambitions and priorities for an organisation, and it is our primary strategic document. It should outline what we want to achieve and how we intend to do it. Lichfield District Council's current Strategic Plan ends in April 2024. A Strategic Plan should act as the 'golden thread', allowing all members of staff and Councillors to see the role they play in delivering against the agreed priorities. The Council is a very different Council to the one that agreed the last Strategic Plan in Spring 2020.
- 3.2 Lichfield District 2050 Strategy is a significant departure from previous Strategic Plans. It deliberately seeks to set a different tone, to be a Strategic Plan for the whole District, not just Lichfield District Council. We cannot deliver the ambitions set out in the Strategy on our own, it will require us all working together, partners, businesses, residents and the Council. It also takes a longer-term view, rather than the normal four-year, medium-term view. This is to reflect that many of the opportunities and challenges we face do not start and end in a political term, but require long-term commitment and focus. The Strategy is unapologetically aspirational and bold.

- 3.3 A strategy is only as good as the delivery plan that supports it, monitoring and tracking how the District Council and partners are delivering against the agreed priorities. A draft Year 1 Delivery Plan is presented at Appendix C. The Delivery Plan includes ‘100 day sprints’, to allow residents to see tangible progress in the short-term, as well as the long-term.
- 3.4 The Strategy sets out the vision that “together we will make Lichfield District a more confident, prosperous, active and green place to live, work and pay”. To achieve this vision, the Strategy outlines four ambitions:
- Be the place where people across the UK aspire to live – Confident Communities
 - Enable Lichfield, Burntwood and our villages to flourish – Prosperous Communities
 - Make Lichfield District the most active in the UK – Active Communities
 - Create the greenest District in the country – Greener Communities

4. Development of the Strategy

- 4.1 The Strategy has been in development for over 18 months, starting with the ‘Together We’ public consultation which ran in late 2022, which saw over 7,500 residents and businesses feedback their views and opinions on the District and future priorities.
- 4.2 Using the results of the ‘Together We’ consultation, plus data and analysis from the Lichfield District Social Progress Index which was launched in early 2023, the Strategy was drafted. In August 2023 a public consultation was launched to gather views and feedback on the draft Strategy.
- 4.3 Five online surveys were launched, respondents were able to provide feedback on any one of the four priorities they were interested in – Confident, Prosperous, Active or Green Communities - or answer a survey on the whole Strategy. Residents were also able to request a paper copy of the surveys.
- 4.4 As well as the online survey, direct emails were sent to key stakeholders offering the opportunity to meet and discuss their feedback on the Strategy, as well as encouraging stakeholders to share the link to the Strategy and surveys with their own networks. As an example, Support Staffordshire and the Chamber of Commerce both promoted the surveys through their networks.
- 4.5 A range of actions were undertaken to maximise the response the consultation including:
- Ongoing social media posts across all LDC channels and traditional press releases
 - Promotion of the surveys via our resident e-news distribution lists of more than 29,500 recipients
 - Promotion of the relevant surveys to targeted distribution lists. Residents registered on our Active Lichfield mailing list were sent the Active Communities survey and contacts on our business mailing list received the Prosperous Communities survey.
 - Surveys were promoted on specific non-LDC social media pages. For example, the Green Communities survey was promoted on Lichfield Litter Legends, the Prosperous Communities survey was posted on Lichfield and Tamworth Business Page, the Confident Communities survey was posted on Helping Each Other – Lichfield & Surrounding Areas, the Active Communities survey was posted on Lichfield & District Runners
 - Councillors were encouraged to share the surveys amongst their networks and with their constituents
 - Recorded and distributed a podcast, aimed at younger people.
 - Handed out leaflets in Lichfield City to promote awareness of the consultation
 - Community organisations such as secondary school and faith groups were also sent links to the surveys and encouraged to promote.

- Session held with the Lichfield District Youth Council
 - Additional targeted activities were undertaken between January-February 2024 to increase responses from younger age groups. This led to an additional 228 responses from residents aged 34 or under.
- 4.6 A summary of the consultation results are presented in Appendix A. These results were considered at Overview and Scrutiny Committee on 3rd April 2024 and feedback will be provided at Cabinet on 9th April 2024.
- 4.7 A key message from the public consultation was that respondents wanted more information on how it will be delivered and funded.
- 4.8 The Strategy has been strengthened to reflect the key themes from the consultation, and the proposed final version is attached as Appendix B:
- The importance of infrastructure, including GPs, schools and roads. Working to lobby public sector partners to invest more in these services
 - Public transport and active travel. Challenging ourselves and our public sector partners to do more to connect our places, and to support all in our communities to access opportunities
 - Ensuring the challenges and opportunities in our villages and rural communities are represented throughout
 - Inclusion for all was a recurring theme throughout much of the feedback. We will review the Strategy to ensure that all parts of our communities are represented.
 - Younger respondents in particular valued the Strategy being broken down into shorter time periods, and being able to see tangible deliverables towards the long-term ambitions.
- 4.9 Lichfield District 2050 Strategy clearly sets out our vision and ambitions for the District. Through extensive engagement we have developed a Strategy that is bold, aspirational and will create a future that we can all be proud of.

Alternative options	1. Cabinet can choose to approve a different Strategic Plan, however this would delay approval and adoption.
Consultation	1. Consultation with residents, businesses, stakeholders and Councillors has been undertaken over the last 18 months to inform the development of the Strategy. 2. Results of the latest round of public consultation have been considered at Overview and Scrutiny Committee on 3 rd April 2024.
Financial implications	1. There are no direct financial implications arising from creation of the strategic plan. 2. All plan activities will need to be built into financial planning. 3. Costs including consultation, design and print that will be associated with the production of the plan have been met from existing budgets.
Approved by Section 151 Officer	Yes
Legal implications	1. There are no direct legal implications
Approved by Monitoring Officer	Yes
Contribution to the delivery of the	1. The proposals recommend that a new strategic plan is adopted

strategic plan	
Equality, diversity and human rights implications	<ol style="list-style-type: none"> 1. Due to the strategic nature of the strategic plan, completing an equalities impact assessment (EIA) will likely have limited benefit. 2. However it is recommended that detailed delivery plans and any supporting thematic strategies do complete and EIA.
EIA logged by Equalities Officer	See above.
Crime & safety Issues	<ol style="list-style-type: none"> 1. There are no crime and safety issues arising from the production of the strategic plan.
Data assessment	<ol style="list-style-type: none"> 1. The Social Progress Index has been utilised in the development of the strategic plan.
Environmental impact (including climate change and biodiversity)	<ol style="list-style-type: none"> 1. Creating greener communities is one of the four priorities of the strategic plan.
GDPR / Privacy impact assessment	<ol style="list-style-type: none"> 1. There are no GDPR/privacy issues arising from the production process of the strategic plan

	Risk description & risk owner	Original score (RYG)	How we manage it	New score (RYG)
A	Lichfield District 2050 Strategy is too ambitious and cannot be delivered within available resources	Likelihood: Yellow Impact: Yellow Risk: Yellow	Annual Delivery Plans alongside '100 day sprints' to ensure we delivery both in the short-term and medium-term. Continual engagement with stakeholders to reiterate this is a plan for the District not just the District Council/	Likelihood: Green Impact: Green Risk: Green
B	Lack of buy-in from residents and stakeholders to the Strategy	Likelihood: Yellow Impact: Yellow Risk: Yellow	Significant public consultation has been undertaken. Ongoing consultation and engagement on delivery plans and what has been achieved.	Likelihood: Green Impact: Green Risk: Green
C	Any change in National Government leads to changes in priorities/funding for Local Government.	Likelihood: Yellow Impact: Yellow Risk: Yellow	Policy proposals and the Manifestos of political parties will be monitored to understand the potential impact on Local Government. The Council will seek to influence future policy direction through submitting policy responses.	Likelihood: Yellow Impact: Yellow Risk: Yellow

Background documents	Any previous reports or decisions linked to this item
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Relevant web links	Any links for background information which may be useful to understand the context of the report
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Lichfield District 2050



Confident Communities

Prosperous Communities

Active Communities

Greener Communities



LD2050 – Strategy Survey Results March 2024

About the Survey

- The survey was conducted in two tranches; the first undertaken over four weeks in Autumn 2023 and a follow up, targeted survey was launched in January and February 2024 to elicit responses from younger age groups, as the under 34's were under-represented in the first tranche.
- The second targeted survey produced an additional 227 responses from residents aged 34 or under.
- The surveys were promoted via our resident and business newsletters, in face-to-face meetings, on our website and across our social media platforms in addition to inviting responses through press announcements.
- Targeted work was undertaken to promote responses from a wide range of residents.
- The surveys focused on collecting qualitative data to understand feedback on the strategy.
- The overall number of responses collected was **3,127**



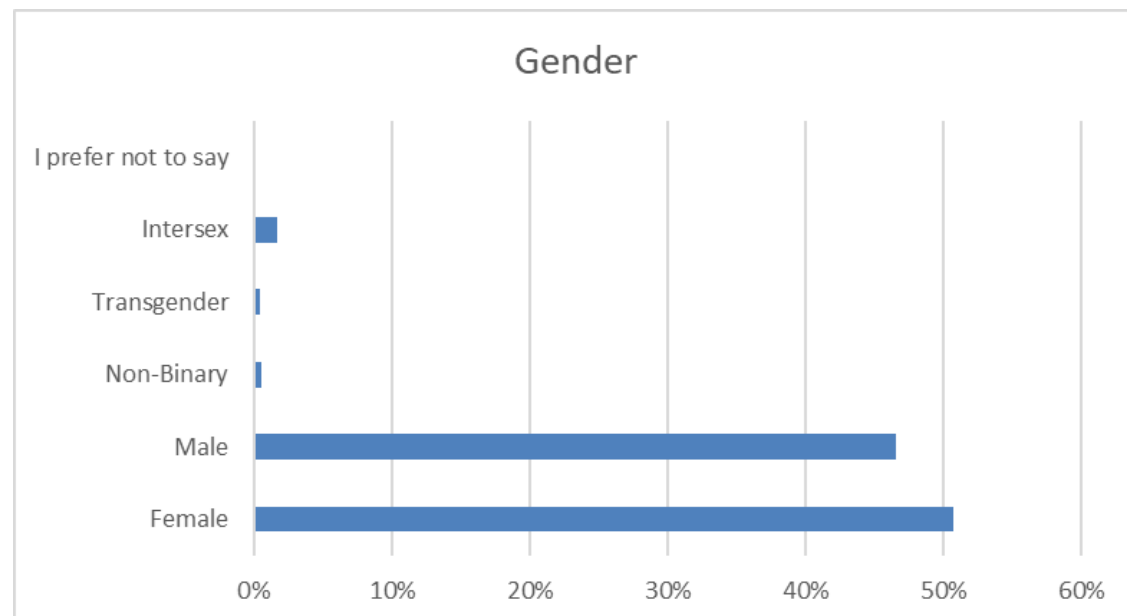
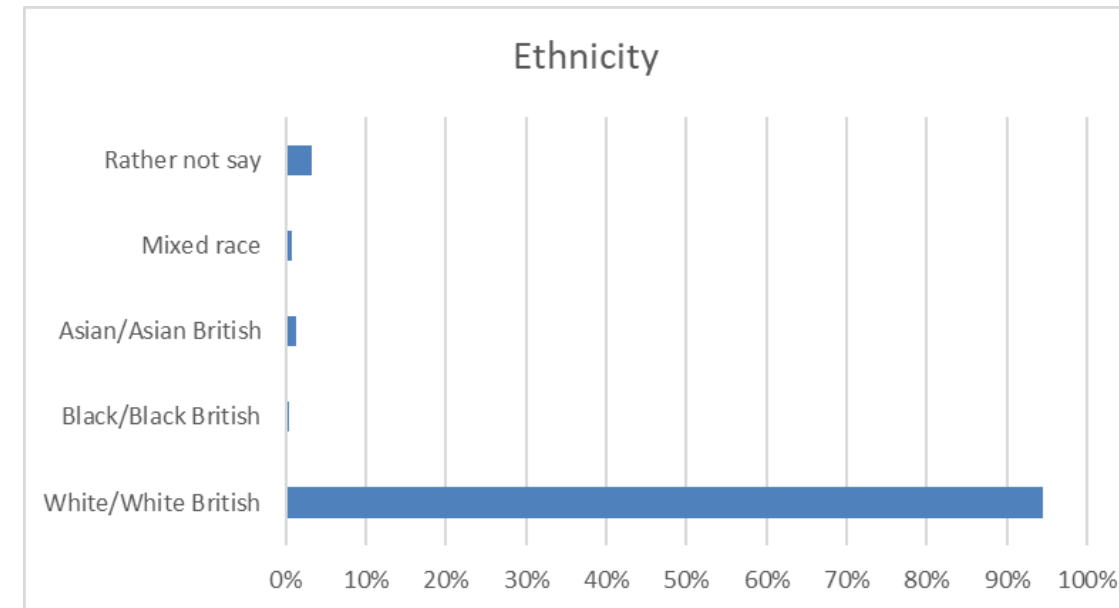
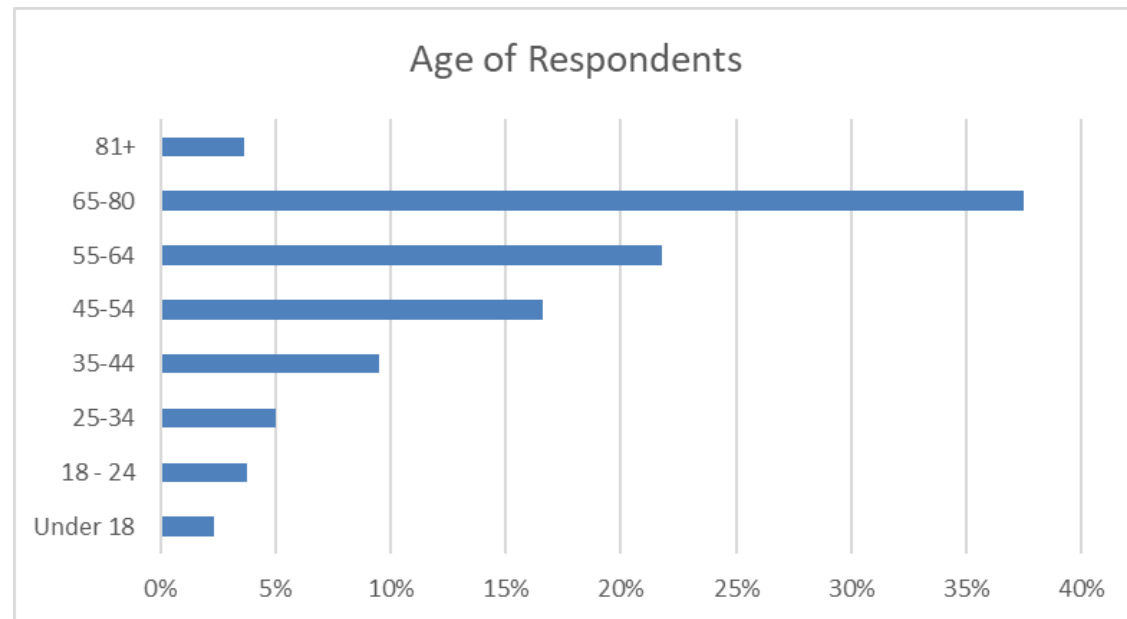
Lichfield
District Council

The Next Generation Survey – Under 34s

- For six weeks from January 2024 we undertook a campaign to target younger residents so that their voices were represented.
- Over this period of time we:
 - Published a podcast targeting young adults
 - Sent direct emails to families asking their young adults to take part
 - Shared with local voluntary and social groups asking them to share
 - Shared with youth council asking them to share
- This generated an additional **227** survey response from residents aged 34 and under, giving a total of **315** responses from this age group.



Demographics of respondents



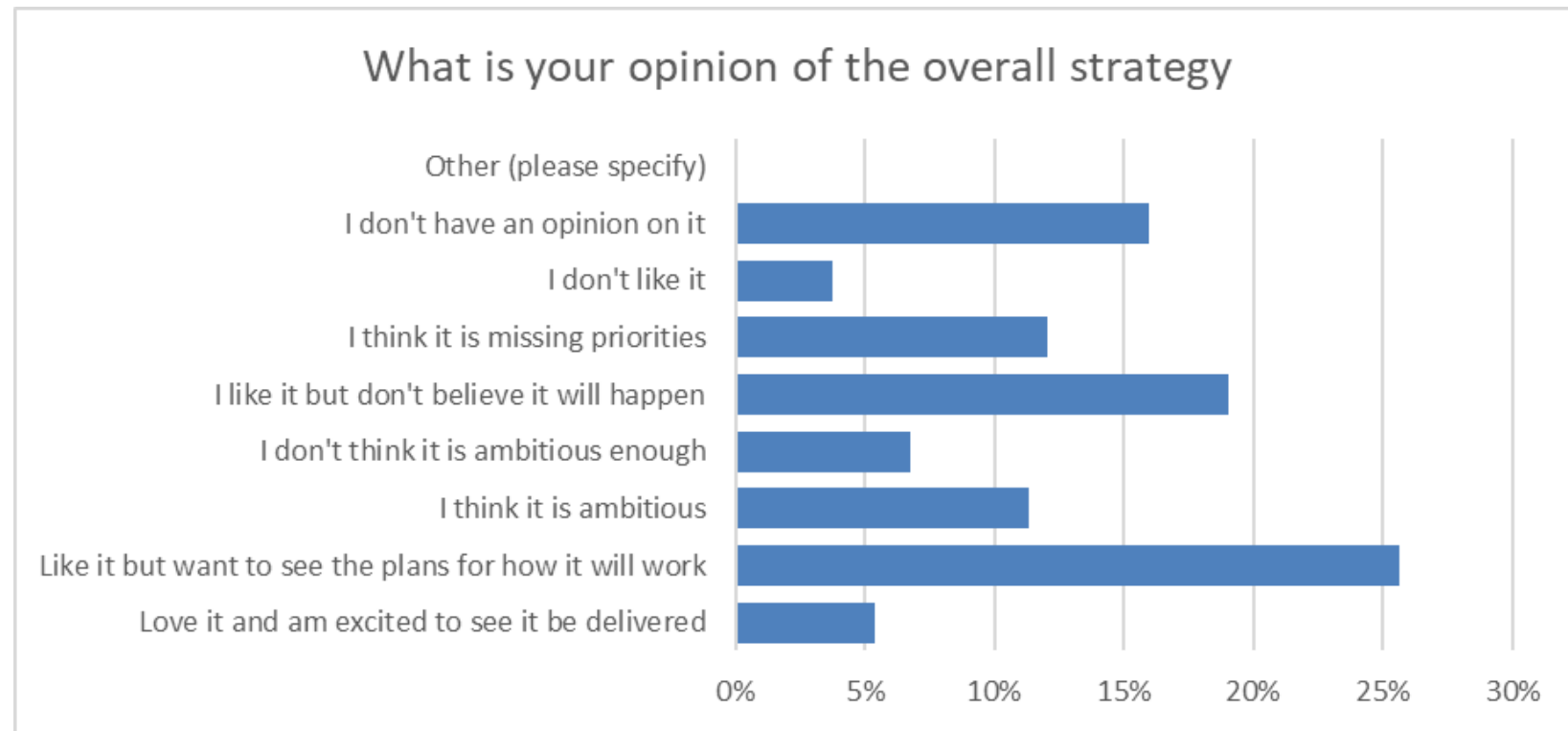
Geography	% of Responses	% of Population
Lichfield	43.0%	30.6%
Burntwood	22.0%	29.1%
Rural Areas	35.0%	40.4%

Age	% of Responses	% of Population
Under 18	2.3%	18.9%
18-24	3.8%	6.6%
25-34	5.0%	11.3%
35-44	9.5%	11.4%
45-54	16.6%	14.2%
55-64	21.8%	12.6%
65-80	37.5%	18.4%
81+	3.6%	5.4%

- A similar demographic profile was achieved for the 2022 “Together We” survey.
- It is challenging to gain a representative sample via self-selecting surveys.



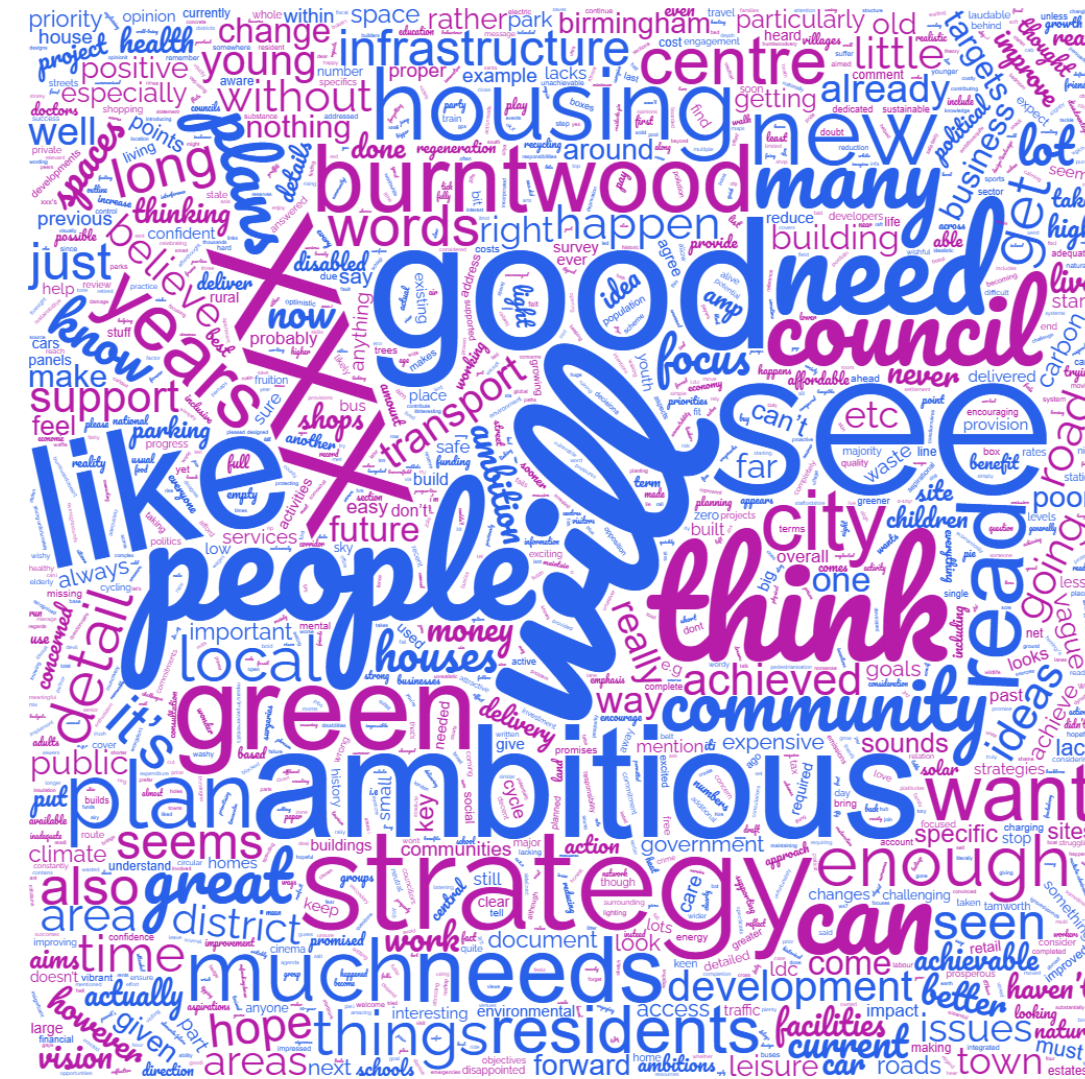
Opinions of the strategy overall



A free text box was provided for respondents to share what they thought about the strategy.

Key themes identified were:

- ambitious but need to see the plan for how it will be delivered
- good to see that there is a strategy forming
- lack of infrastructure to support
- concern over lack of green spaces



Lichfield District Council

What do you think of the strategy?

“Bold statements, which set a good and exciting vision for the area, but I would like to see a little more detail on the plans in due time.”

“It is missing important issues such as we need new schools, more doctors, we build more houses but don’t look at these issues”

“I think 2050 is too far away for most people to think about. Build a really proactive 5 year plan so that people at least can experience and know what's coming soon that will impact their enjoyment of life living and working in and around Lichfield.”

“It's good but will need specific planning and monitoring”

“Really like it but would like it to move faster!”

“I think it is positive and nice to see the council provide a proactive approach and listening to the community”

“A step in the right direction but we need to see plans for the future”

“Good that it acknowledges pressure on infrastructure, particularly primary care (GPs) but needs to think wider about healthcare facilities”



Lichfield
District Council

What questions would you like to ask after reading the strategy?

What are you doing to support Green Energy?

When will the missing items be added?

How will you ensure the infrastructure will support?

How does the plan benefit me?

How will the goals be monitored?

What will the impact of national politics be?

How much will it cost?

What is the plan to support affordable housing?

How will it be funded?

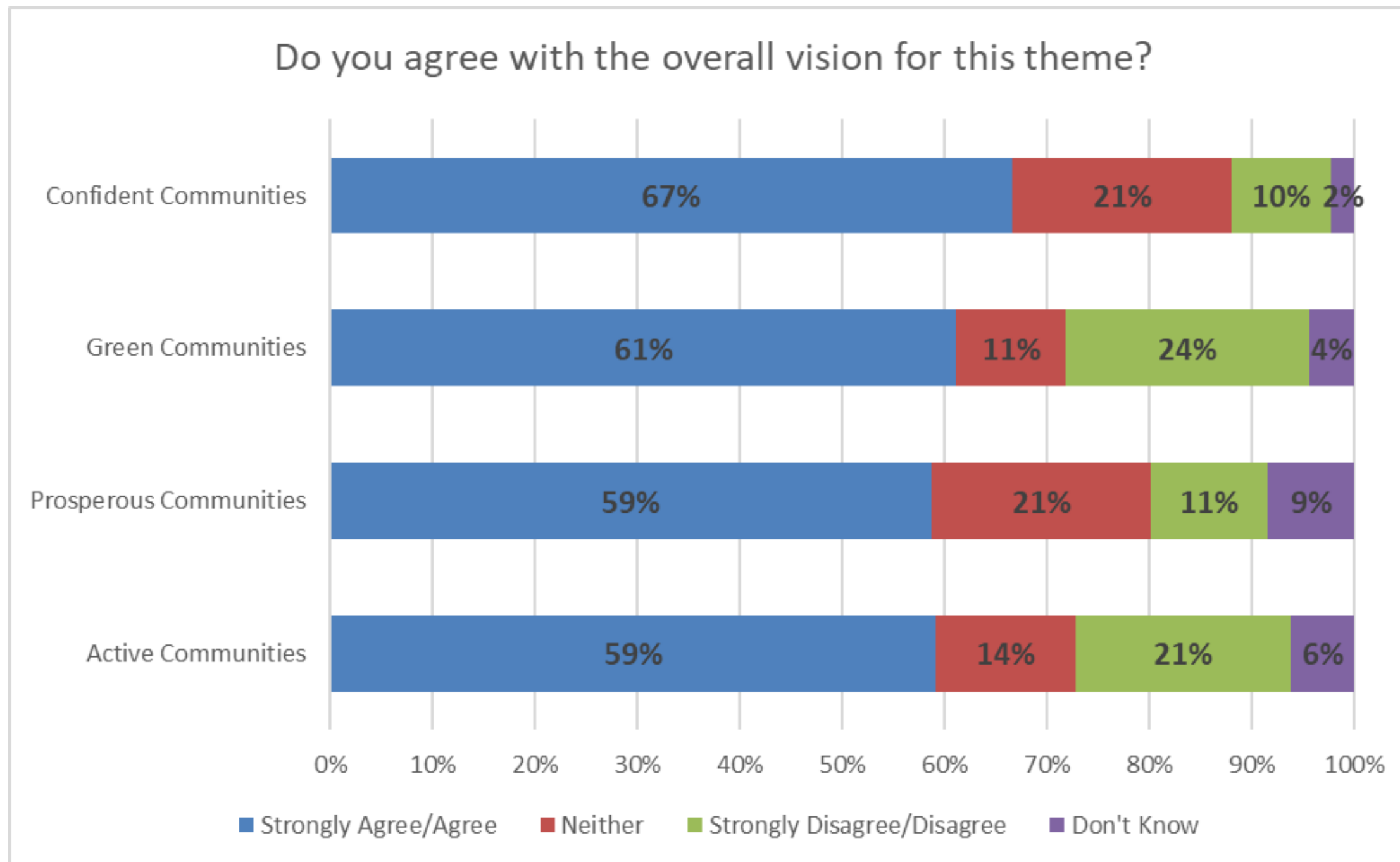
What are the short term plans to deliver?

How will it be delivered?



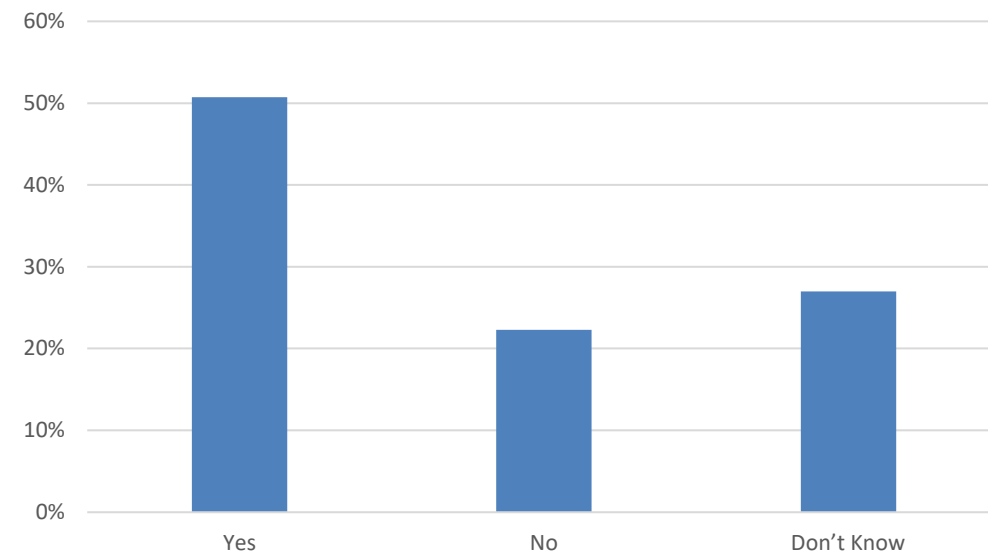
Do you agree with the vision for the themes?

- Over half of respondents agreed with each of the vision statements
- 21% of respondents disagreed with the vision statement for active communities – the highest % across the four themes, however less than a quarter of all respondents.

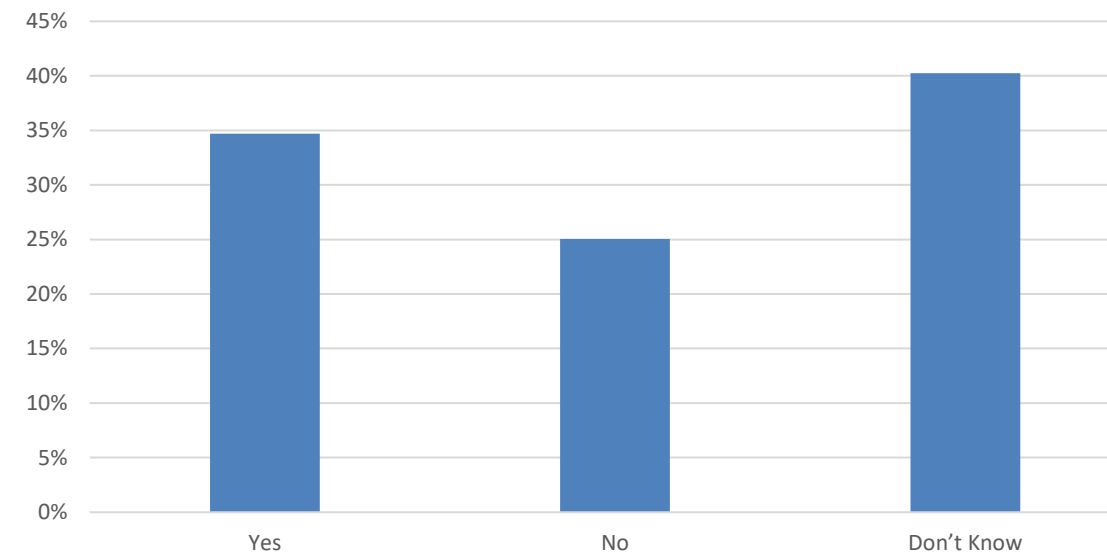


Confident Communities

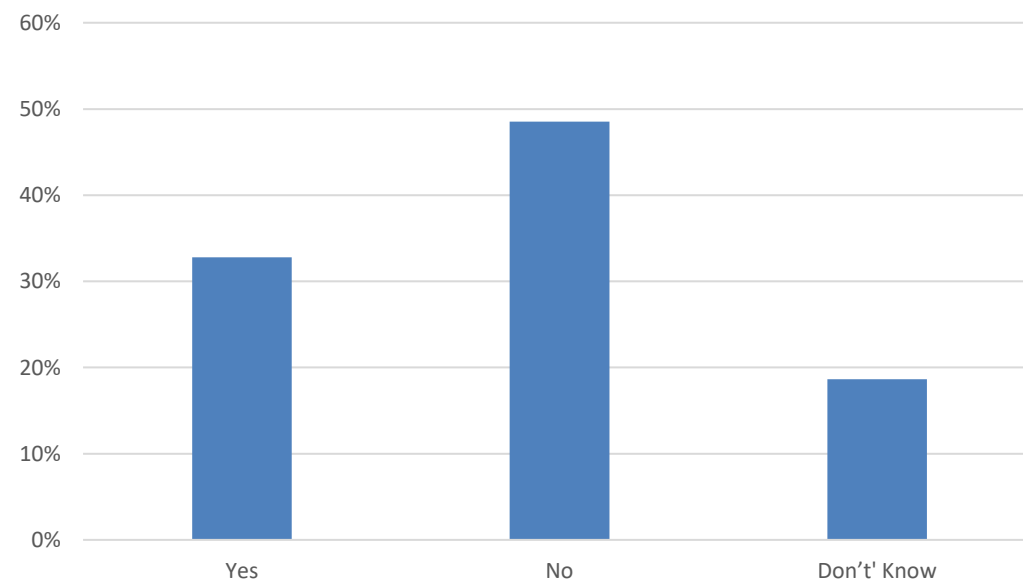
Do you agree with the definition of confident communities?



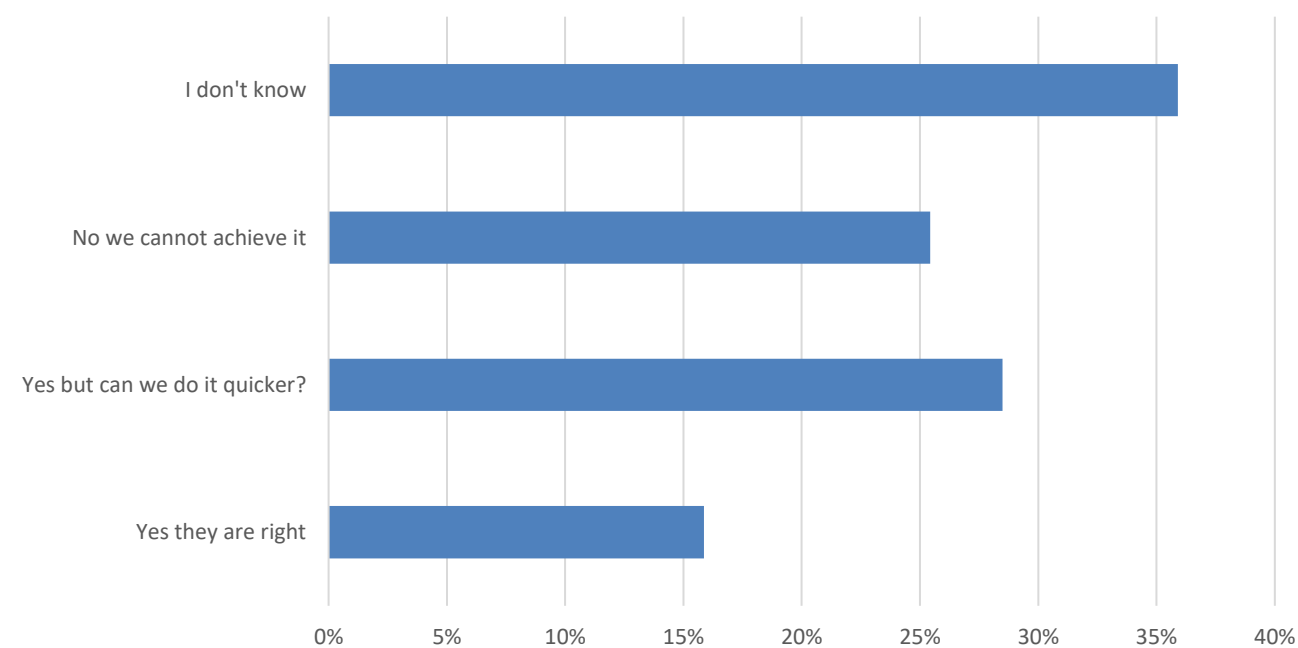
Have we achieved the right priority actions to achieve by 2050?



Would you say that where you live in Lichfield district is a "confident community" today?



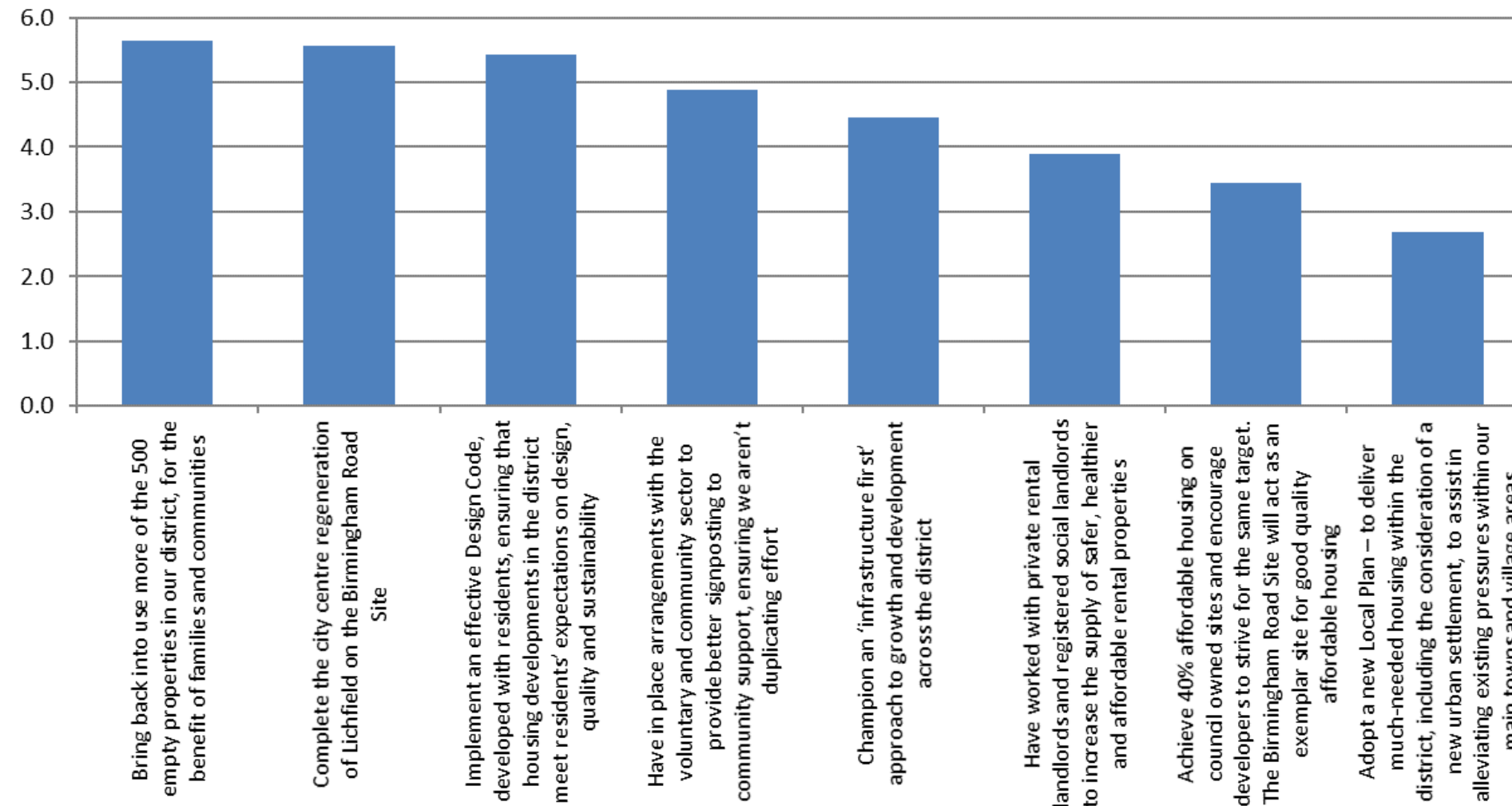
Do you agree the milestones and activities developed for this theme will create "confident communities" in Lichfield district?



Confident Communities

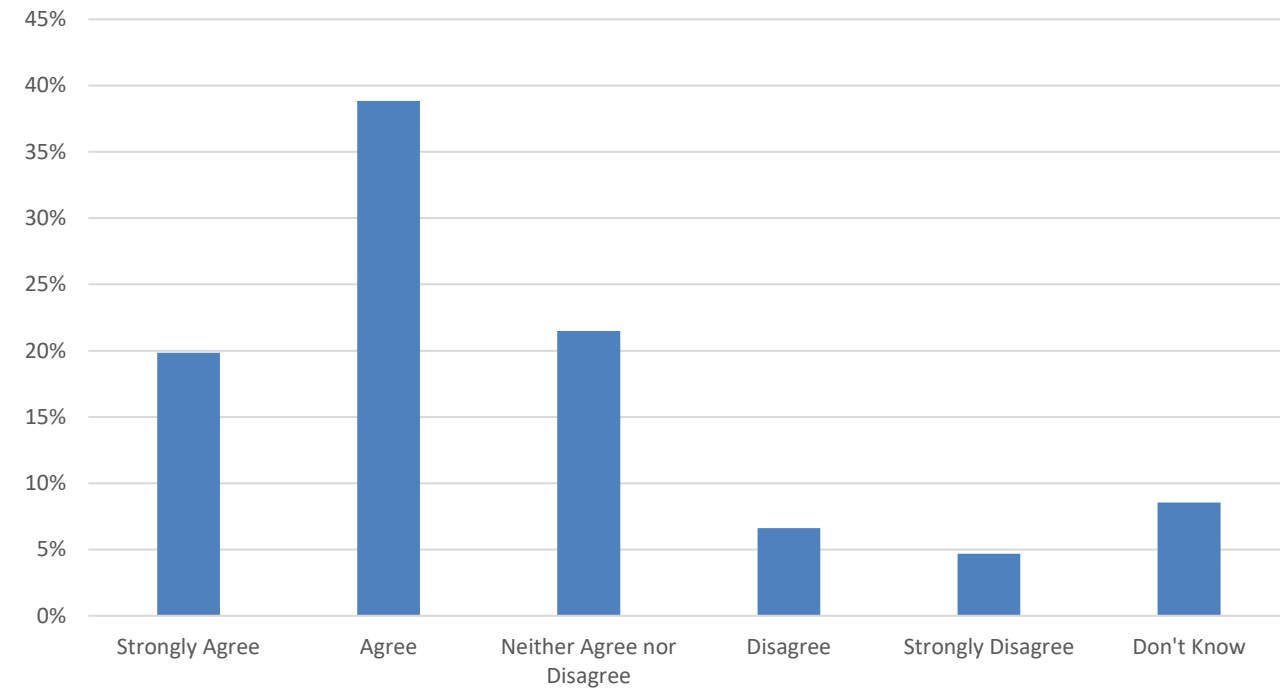
- 51% of respondents agreed with the definition of 'Confident Communities'
- Just under half of respondents (49%) said where they live **isn't** currently a 'confident community'
- 40% of respondents said they didn't know if we'd identified the right priority actions
- Top three priority milestones were:
 - Empty properties
 - Completion of the city centre regeneration
 - Design Code

Please put the 8 milestones identified for 2028 into priority order, in order of importance - weighted score, higher the score = more important

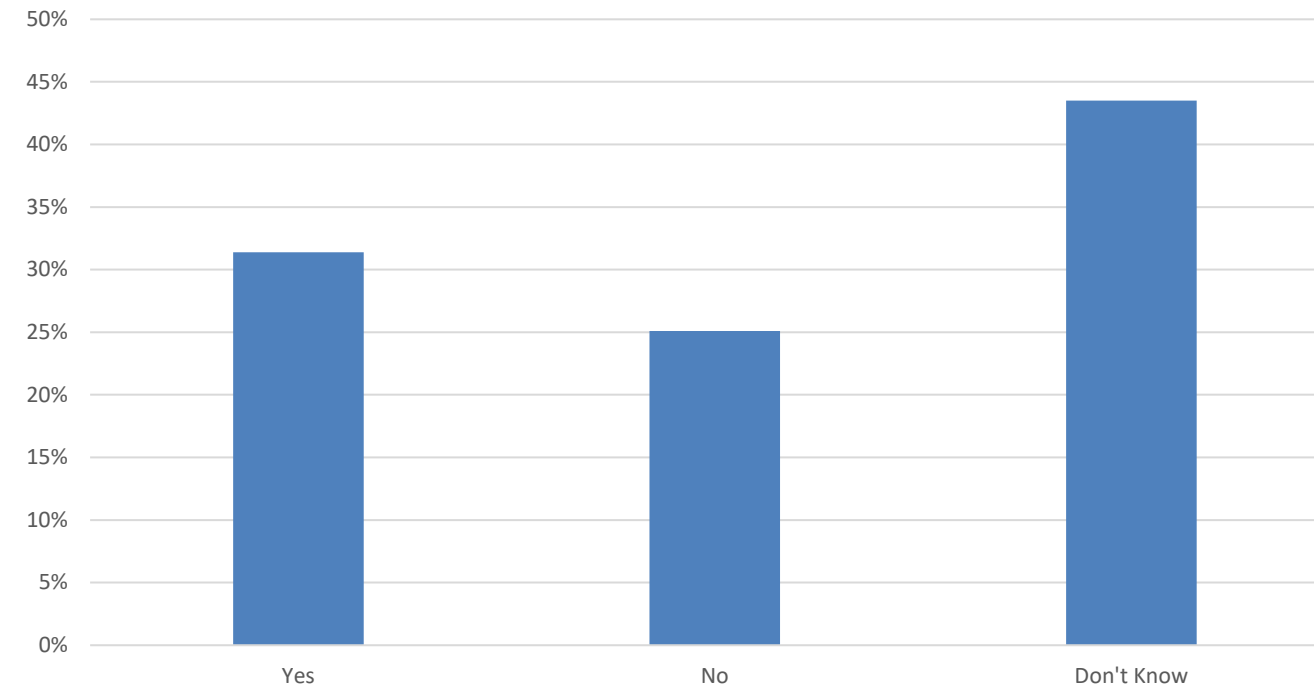


Prosperous Communities

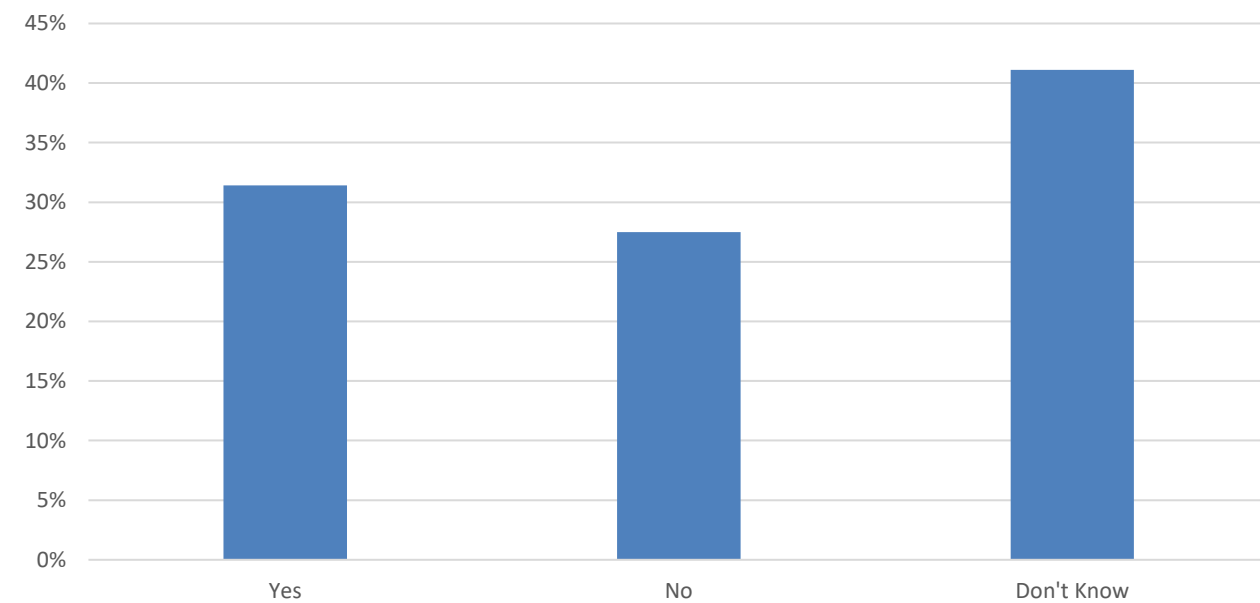
Do you agree with the definition of "prosperous communities"?



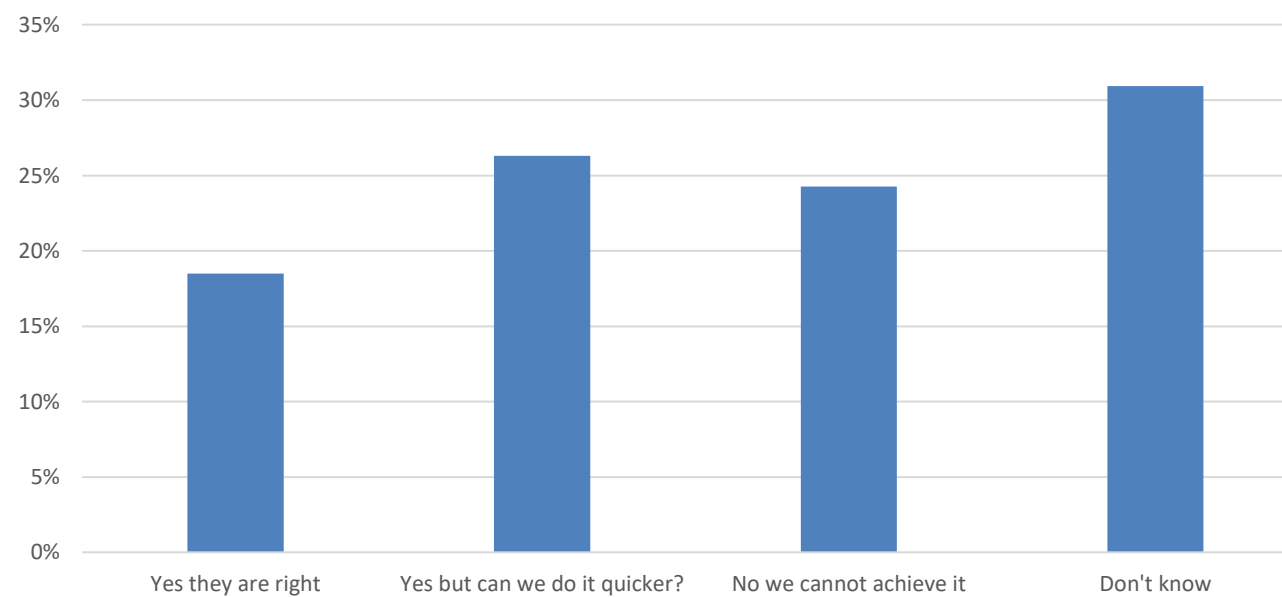
Would you say our communities are flourishing today?



Have we identified the right priority actions to achieve by 2050?



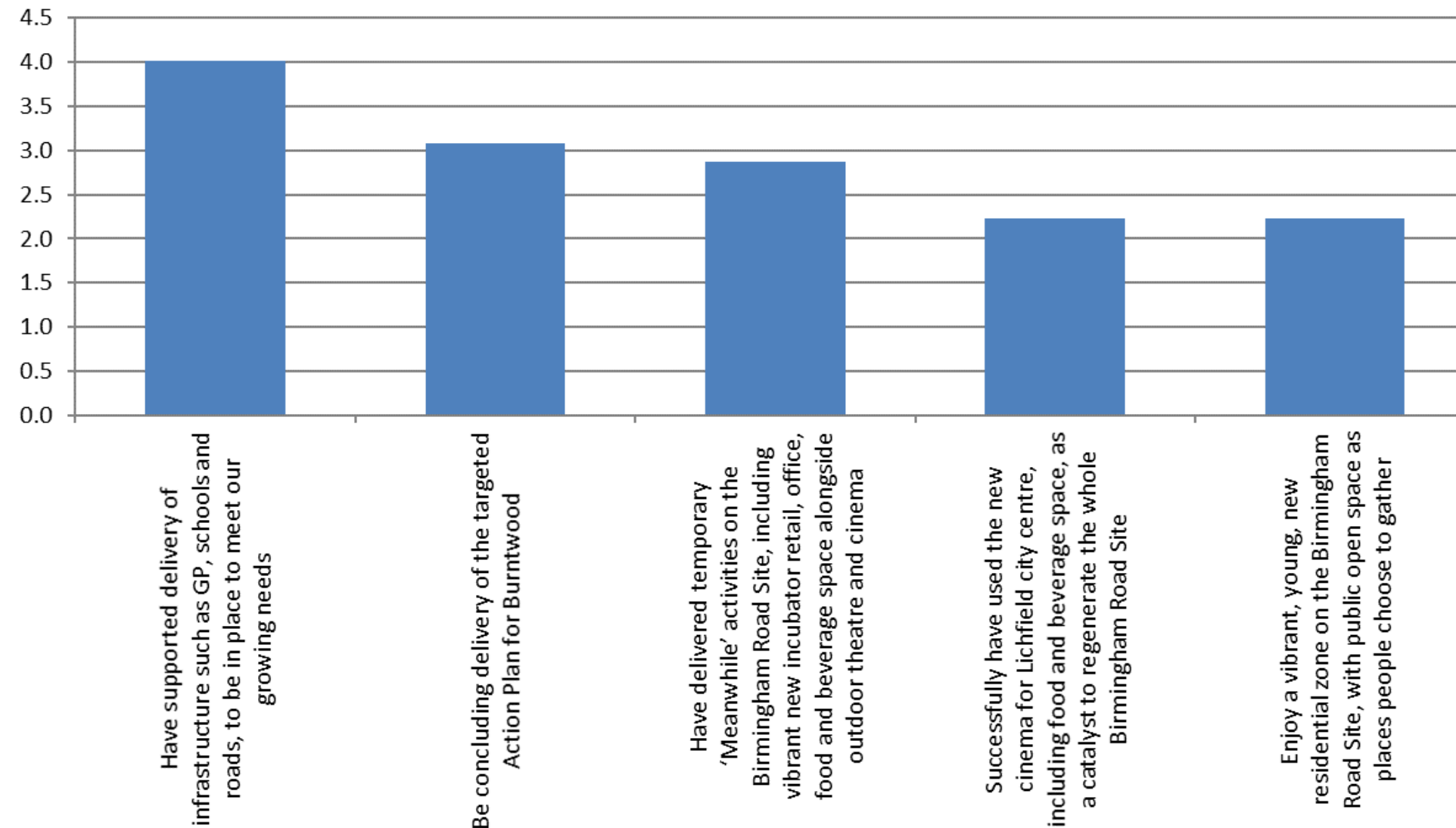
Do you agree the milestones and activities developed for this theme will create "prosperous communities" in Lichfield district?



Prosperous Communities

- 68% of respondents agreed with the definition of 'Prosperous Communities'
- 25% of respondents said their communities are **not** flourishing
- 41% of respondents said they didn't know if we'd identified the right priority actions
- Top three priority milestones were:
 - Infrastructure
 - Action Plan for Burntwood
 - 'Meanwhile' activities on BRS

Please put the 8 milestones identified for 2028 into priority order, in order of importance - weighted score, higher the score = more important



Prosperous Communities – What is missing?

- Open text responses, key themes: Building sense of community / How will it be delivered? / Infrastructure and Transport

“A commitment to protect and enhance the historic City centre”

“Infrastructure to support the people that already live here. We need better jobs locally”

“Town centre diversification- not so many betting shops , charity shops and barbers”

“An emphasis on good public transport to make these new opportunities accessible from all parts of the district”

“Little detail on how sectors e.g. retail will be expanded, especially in Burntwood”

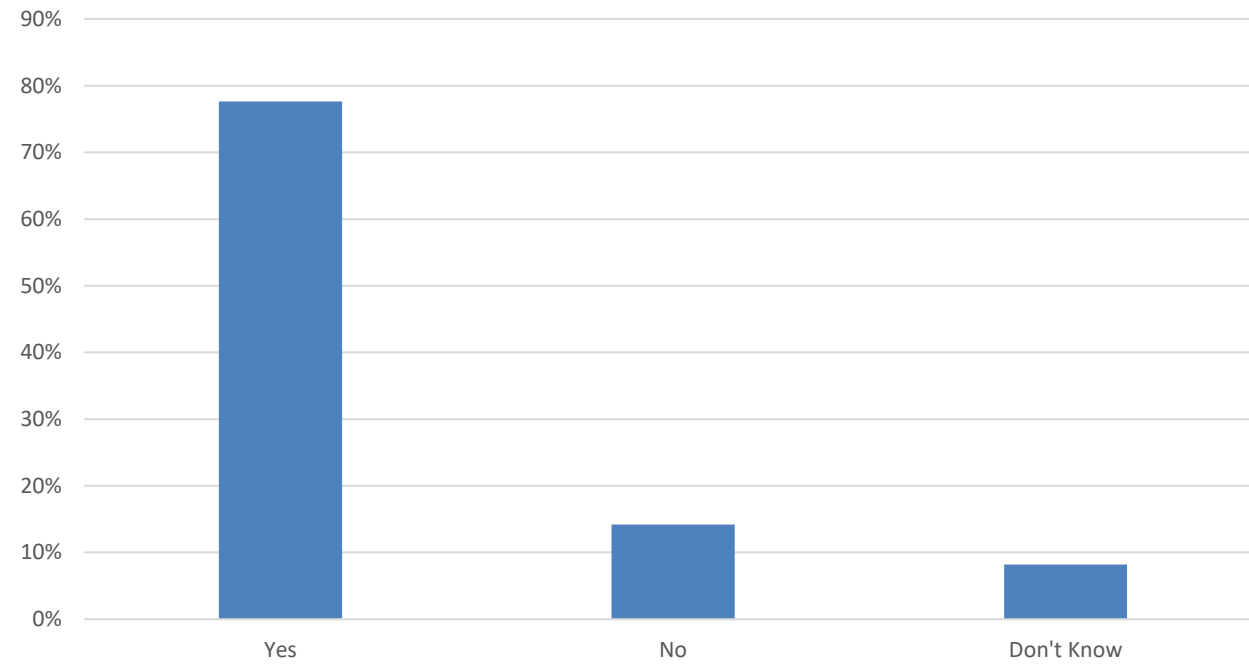
“More focus on villages, how can those without cars get jobs in city and industrial estates without an improved integrated public transport system”



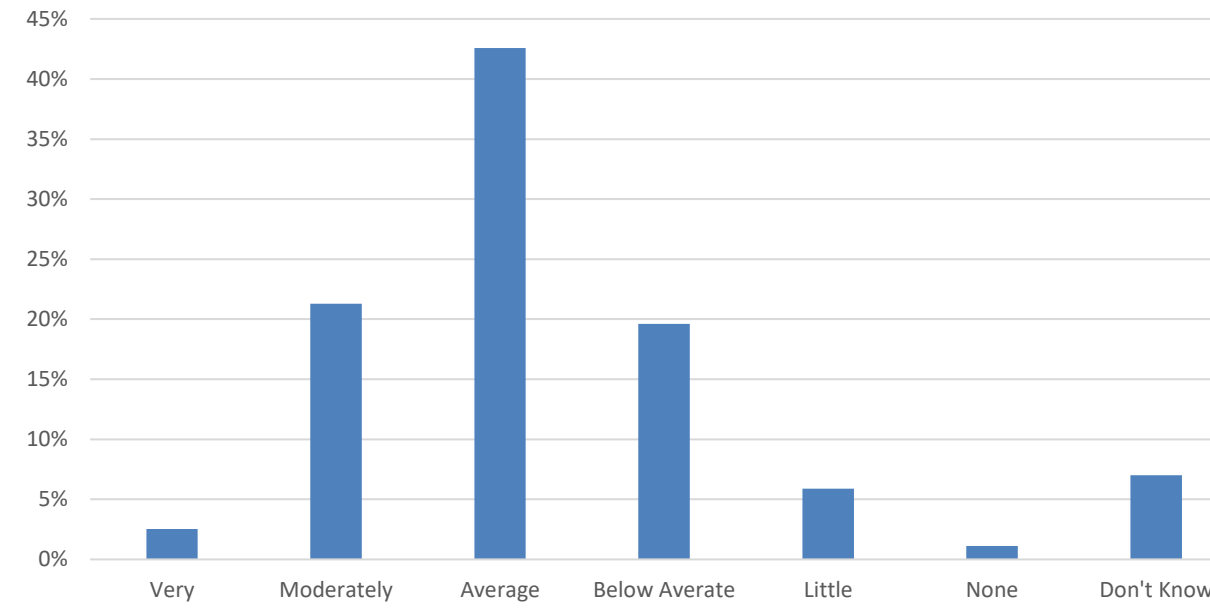
Lichfield
District Council

Active Communities

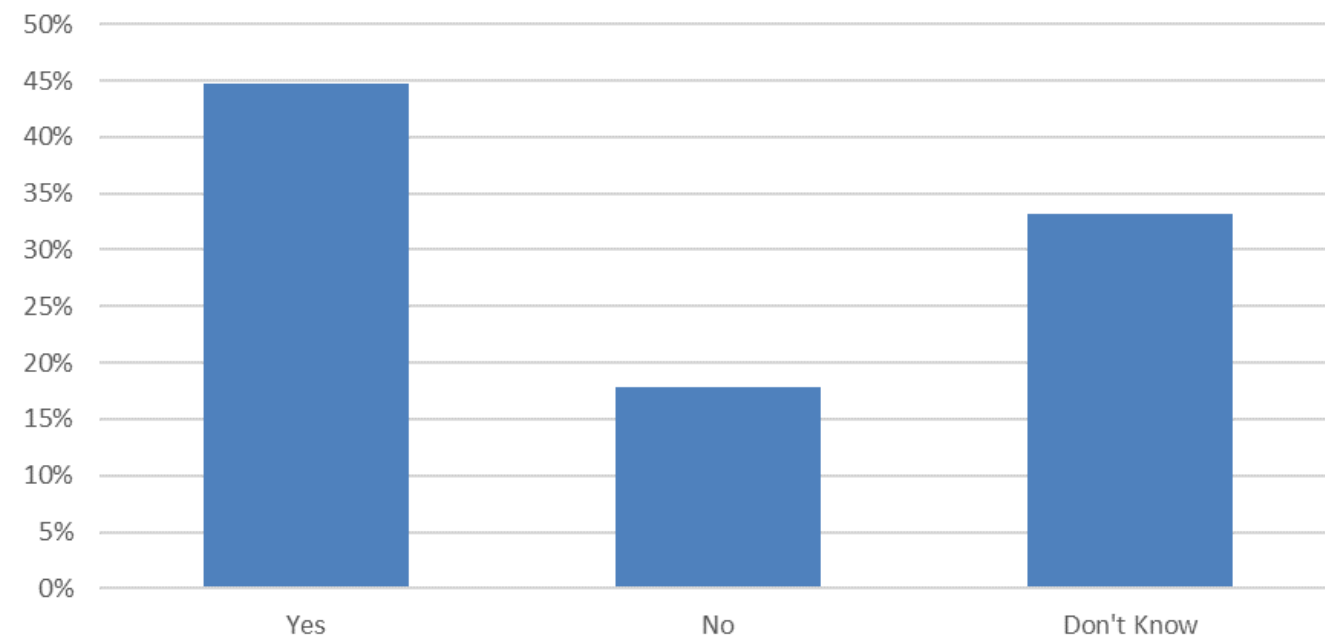
Do you agree with the definition of 'Active Communities' below?



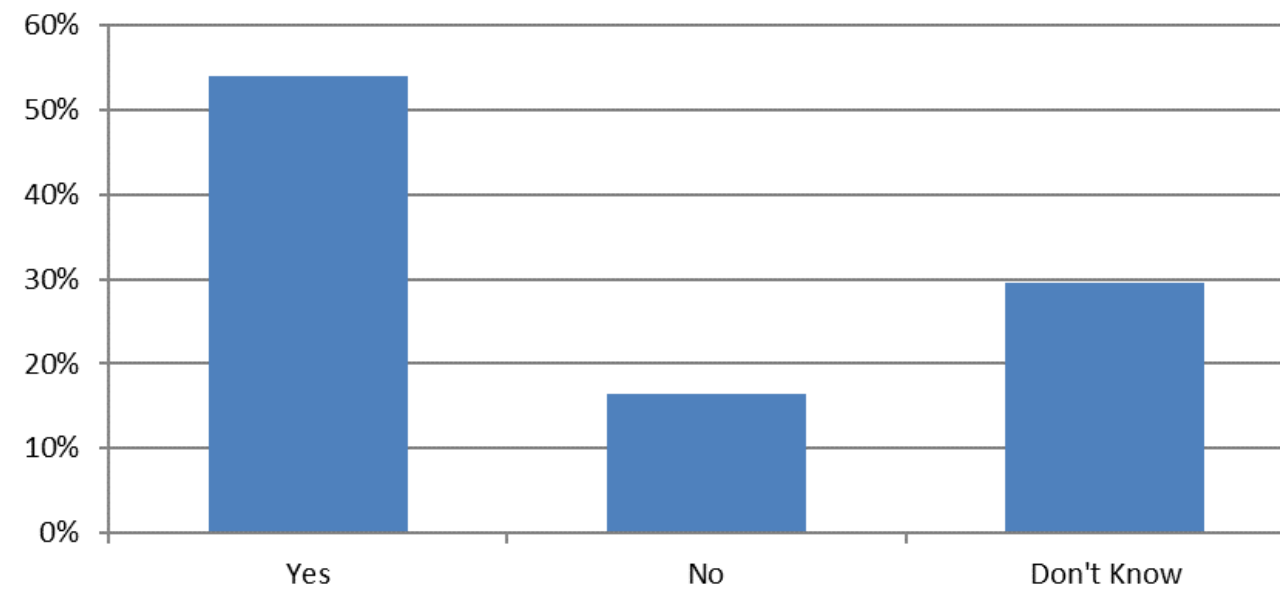
How active would you say our communities are today?



Have we identified the right priority actions to achieve by 2050?



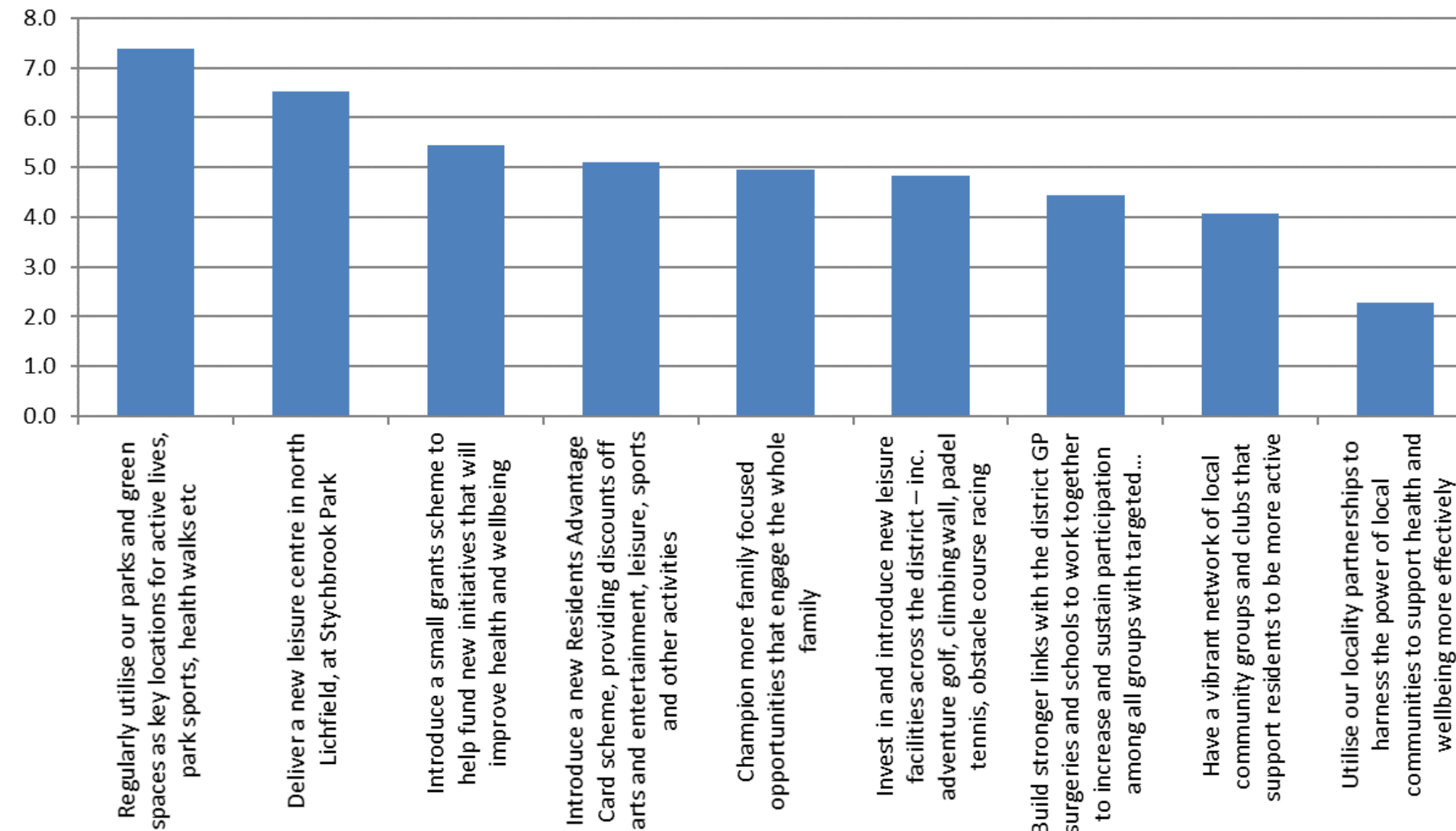
Do you agree the milestones and activities developed for this theme will create 'Active Communities' in Lichfield District?



Active Communities

- 78% of respondents agreed with the definition of 'Active Communities'
- 24% of respondents said our communities are currently very or moderately active
- 45% of respondents said we'd identified the right priority actions
- Top three priority milestones were:
 - Utilise our parks and green spaces
 - New leisure centre
 - Small grants scheme

Please put the 8 milestones identified for 2028 into priority order, in order of importance - weighted score, higher the score = more important



Lichfield
District Council

Active Communities – What is missing?

- Open text responses, key themes: How will it be delivered? / Cycling and walking paths/ Affordable / Inclusion

“Cycle paths and getting more people out of cars and walking or cycling”

“Affordable activities that fit with working families”

“Focus on those with additional needs”

“Improved foot and cycle paths around the town, places to lock bikes up in town, better, cheaper public transport from the peripheries to the centre where people can then walk more.”

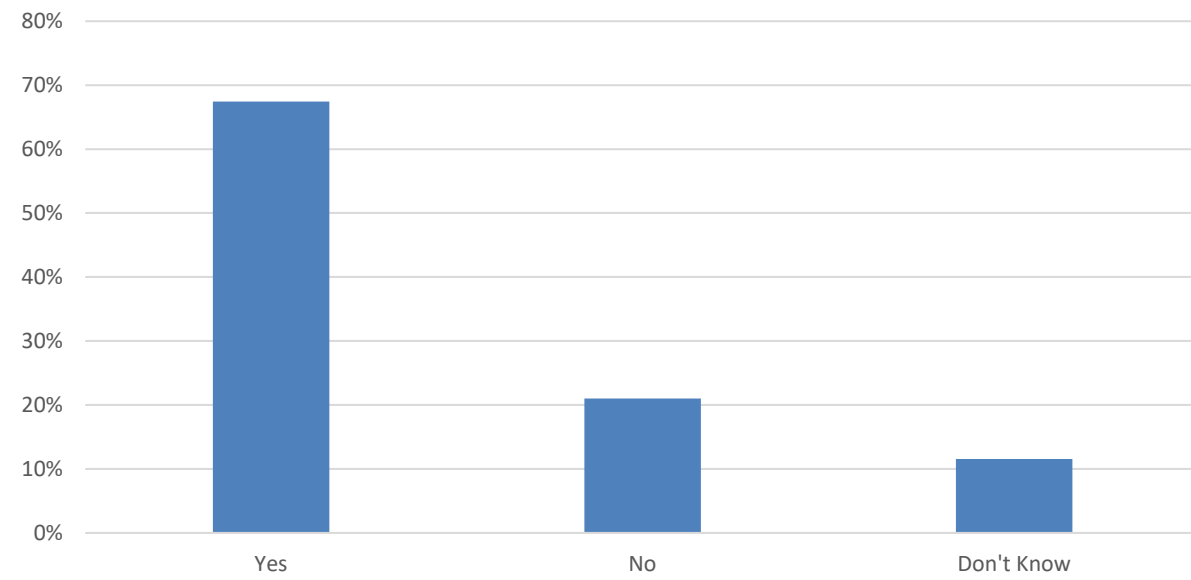
“Whilst the extra facilities are good, they will cost money for people to use and I do not see the cost of living improving for the next decade. “



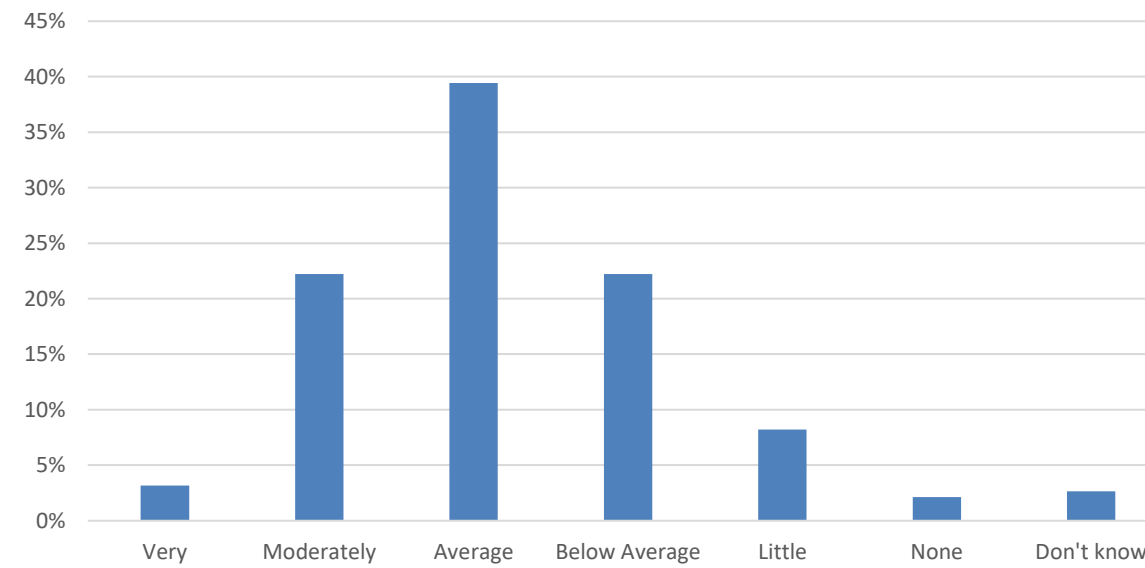
Lichfield
District Council

Green Communities

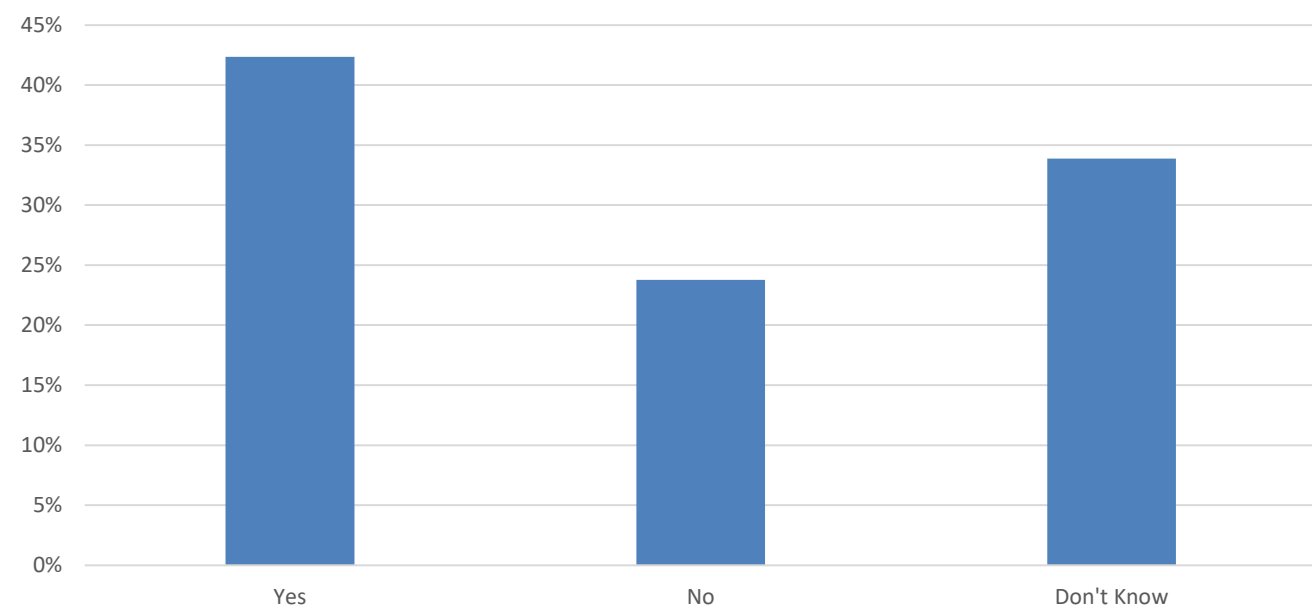
Do you agree with the definition of "green communities"?



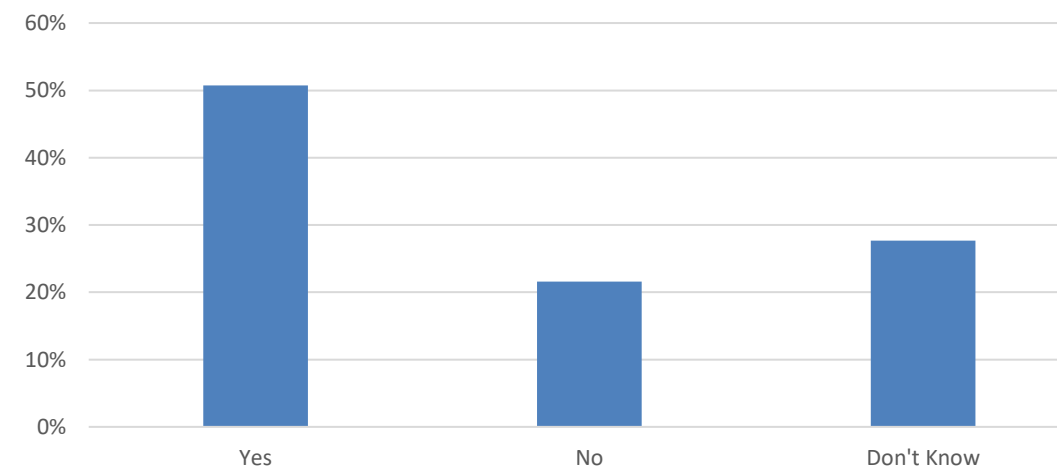
How green and environmentally friendly would you say our communities are today?



Have we identified the right priority actions to achieve by 2050?



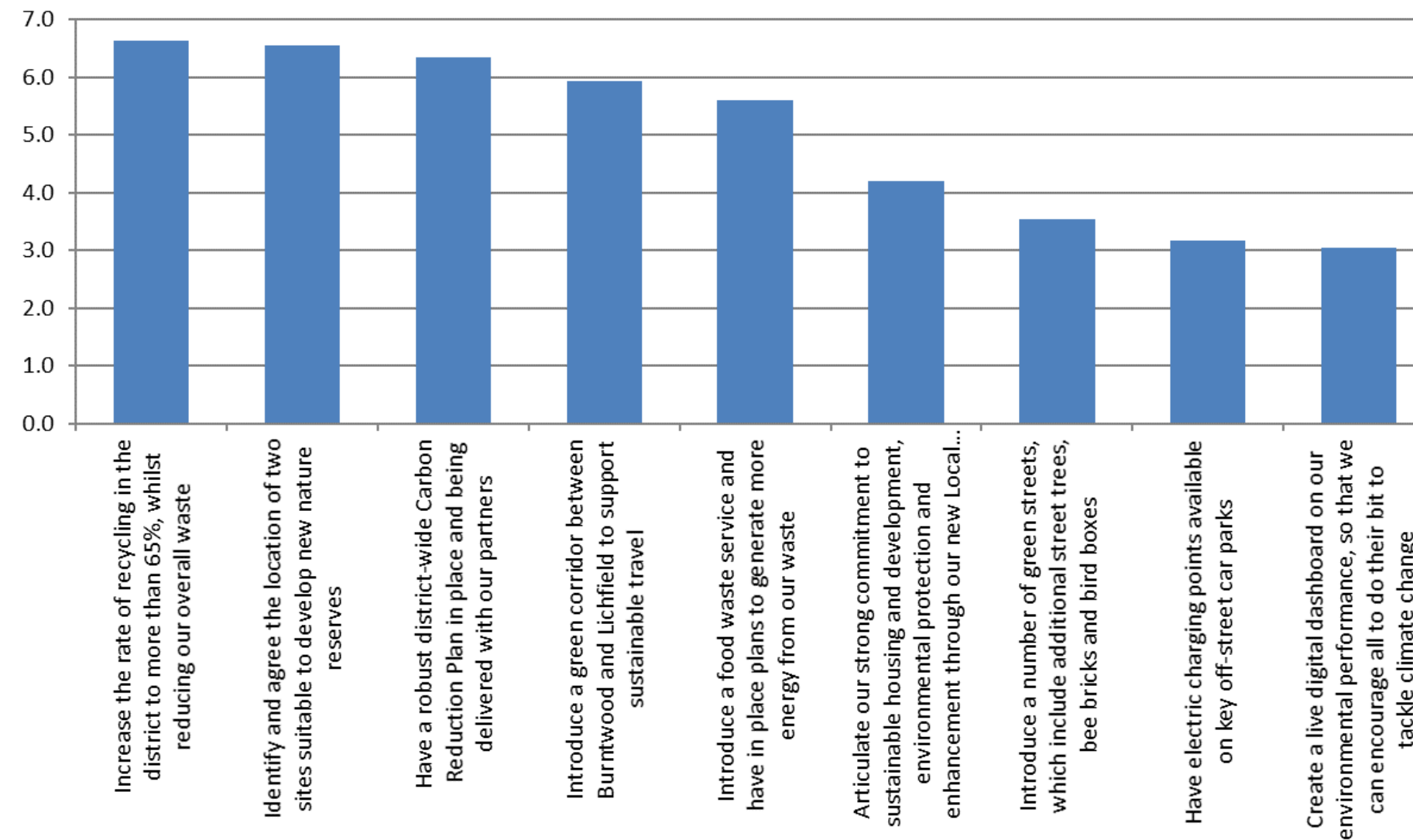
Do you agree the milestones and activities developed for this theme will create 'Green Communities' in Lichfield District?



Green Communities

- 67% of respondents agreed with the definition of ‘Green Communities’
- 25% of respondents said our communities are currently very or moderately green and environmentally friendly
- 42% of respondents said we’d identified the right priority actions
- Top three priority milestones were:
 - Increase recycling rate
 - Two new nature reserves
 - Robust Carbon Reduction Plan

Please put the 8 milestones identified for 2028 into priority order, in order of importance - weighted score, higher the score = more important



Green Communities – What is missing?

- Open text responses, Key themes: Green energy / How will it be delivered / Community engagement

“Involve people in the changes. Sustainable/green events.”

“Electric car recharging points in the area”

“Working with agriculture to make it more wildlife friendly and less polluting to rivers”

“Green technologies - solar panels, heat pumps, safe walking paths and safe cycling paths”

“Green energy generation on public buildings, encouraging walking and cycling and public transport”

“Top priority must be reducing emissions quickly e.g. by reducing car use”

“punishment for constant litter louts and don’t allow more rubbish producing outlets such as fast food...”

“start getting specific – no mention of hydrogen for example!”



Lichfield
District Council

What roles do people want to play in delivering the strategy?

- Open text responses, key themes: Supporting local community / Engagement and involvement / Advocating for it

“All local people should be consulted regarding plans for their region and their voices should be heard.”

“Happy to contribute to any community involvement”

“Being part of the community and actively engaging in what's happening across the district.”

“Continue supporting my village community in several voluntary roles”

“Encourage friends to support the vision ”

“Ensure council hears the concerns of residents”



Lichfield
District Council

Youth Council Discussion

On 5th October, we met with the Youth Council to gain their feedback on the draft Strategy. Key points raised by the Youth Council included:

- They are excited about projects such as the cinema, adventure golf and climbing wall, creating more activities for younger people
- They would like it if the district had more community groups targeted at young people
- They also would like to see more shops and activities in Lichfield and Burntwood town centres, not just cafes and restaurants.
- Support for over 16s finding part time employment would be very useful.
- They welcomed the focus on green communities and tackling climate change
- Transport was a key theme, they would like to see better public transport and more safe cycle paths and walking routes
- Overall they were positive about the Strategy



Lichfield District 2050



- Confident Communities
- Prosperous Communities
- Active Communities
- Green Communities



Lichfield District 2050

When we say, 'Together We Will...' we mean it. This document is a call to action; for everyone.

We cannot achieve and deliver the future we want for the district without you

So, this strategy seeks a collective commitment to make Lichfield District the most confident, prosperous, active, and green part of the country by 2050; a place which other parts of the United Kingdom aspire to be.

We know this will require hard work and investment, not just from the District Council but from the County Council, from our Town, City and Parish Councils, our partners in the health and emergency services, our vital network of community, charity and third sector organisations who already contribute so much, and importantly from you our residents.



Foreword by the Leader of the Council and Chief Executive



**Council Leader
Doug Pullen**



**Chief Executive
Simon Fletcher**

This document is a departure from our usual four-yearly cycle of thinking about our priorities. It deliberately seeks to **set a different tone**. We are **proud of our district** and want to engage about **its future and yours**; to think about the district we want Lichfield to be by 2050; a place for you, your children, your parents and future generations, for our businesses and visitors, to thrive in.

Lichfield District 2050 is a longer-term view of our shared priorities, **it is challenging, bold and aspirational**.

We are determined to shape our district based on your views. At the end of 2022, over 7,500 residents and businesses responded to the first 'Together We' consultation, providing your views and feedback on what Lichfield District should be in 2050. The views you provided through that feedback have been used to draft this strategy and you will see references to it throughout this document.

Lichfield District is the heart of England, at the centre of the United Kingdom, 35 minutes outside Birmingham and just over an hour away from London. **We have all the ingredients to be a place where people want to live, work and play**, where families can feel supported to raise children and equally protected in older life and retirement.

We want **Lichfield District Council to be a beacon for the rest of the country**, an example of what a modern, vibrant local authority is, a partner, **invested in our district, enabling, and supporting strong communities** with efficient public services that engage effectively and are contrite when we get things wrong.

Through this document, we are seeking to reconstruct our relationship with you, our residents, with our vibrant business sector and with our partners. **We are aiming high. We want to be the best.** We want Lichfield District to be recognised as a place where we take collective responsibility to create a better future for everyone.

Cllr Doug Pullen

Simon Fletcher



When we say, **'Together We Will...'** we mean it; this document is **a call to action, for everyone**. We cannot achieve and deliver the future we want for the district without you

So, this strategy seeks **a collective commitment to make Lichfield District the most confident, prosperous, active, and green part of the country by 2050**; a place which other parts of the United Kingdom aspire to be. **We know this will require hard work and investment**, not just from the District Council but from the County Council, from our Town, City and Parish Councils, our partners in the health and emergency services, our vital network of community, charity and third sector organisations who already contribute so much, and importantly from you.

We have set **4 priorities, and a number of ambitious missions** through this strategy, and following engagement with you. The remainder of the document outlines key actions for all four priorities, against three important milestone dates – 2028, 2038 and 2050. These milestones will help and guide us on our journey to achieving our missions. The district council will deliver its part of this strategy through an **Annual Delivery Plan, with clear and smart quarterly objectives which we will hold ourselves to**. We will refresh this strategy every 5 years, to allow us to reflect on the progress we have made and identify the next set of key actions.

Again, without your buy-in this strategy will fail. If you **join us in committing to the priorities, we promise to listen, to hear and value your views** and to do our part to deliver the Lichfield District 2050 we believe everyone wants.



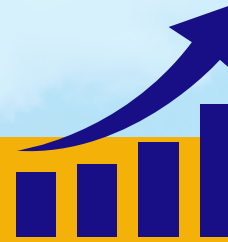
Context - Lichfield District Key Statistics - 2023



Total Population
106,400

The district contains two key urban centres - Burntwood and Lichfield City

Villages and rural communities are home to 30% of the population



Forecast to have the 4th fastest growing economy in the UK

2024 - 26

High levels of business start-ups

62% of adults achieve the recommended 150 minutes of physical activity per week

40% of children and young people achieve the recommended 60 minutes a day of physical activity



59%

of young people in the district achieve a good grade in English and Maths at GCSE: higher than the national average

98%

of businesses in the district are 'small' or 'micro' businesses

45%



of all household waste is sent for reuse, recycling and composting in line with the national average for similar areas

149

protected wildlife sites exist across the district



Over **836,000**

tonnes of greenhouse gases emitted across the district in 2019

CO₂

£46k pa is the average household income



Confident Communities



We will be the place where people across the UK aspire to live.

Confident communities are places that are **inclusive, resilient, and self-assured**, where **people take pride** in their living environment, **respecting and supporting one another regardless of background**. A confident community is a **cohesive, healthy, safe, prosperous, and happy place**. It **collectively tackles disadvantage, exclusion and powerlessness** and strives to provide a **high quality of life for everyone** that lives there.

We want people to be more confident about, take more pride in and ownership of the future of Lichfield District. We want to increase the sense of belonging we know already exists and for everyone to be more able to express their views and contribute.

We understand that people want a clean, safe, and healthy environment, with appropriate employment opportunities close to home and good quality, sustainable, affordable housing, in the right places, that helps them to be healthy and independent for longer. Good quality housing is a key priority for residents, ensuring there is a range of housing options and tenure to suit changing needs.

They want to live in a Burntwood or Lichfield with vibrant cultural and leisure options, and in rural communities that retain and celebrate their historic characteristics and are connected by decent public transport options. They want to be supported and empowered by a compassionate and caring public sector when they need it.

We also know building confident communities requires community action and active community and voluntary groups, that the arts and cultural sector has a key role to play and that a willingness to work together, and with the public sector, will support our residents to thrive and increase wellbeing and a sense of aspiration.



Confident Communities



By 2050 we will be a district where...

- Regeneration in Lichfield city centre and Burntwood has had a positive impact on residents across the district
- Housing growth has been controlled, easing pressure on our existing towns and villages by building new homes in the right places, with critical roads, utilities, schools, and health infrastructure delivered first, not last
- Housing inequalities have been challenged and options that meet everyone's needs, for now and the future are available
- New housing permitted is designed in a way that compliments and enhances our district, whilst also protecting and recovering our environment
- People are empowered to influence and control the decisions that matter to them
- Decision-making and funding are delegated to local communities to unlock community power
- Our communities are connected to support a sense of belonging, through influencing transport authorities and providers, and through the introduction of alternative modes of transport
- Wellbeing and community cohesion is consistently prioritised in all our activities, working effectively with leisure and cultural venues to do so
- A vibrant local voluntary and community sector is supported and invested in

Confident Communities



Key Milestones - by 2028 we will...

- **Champion an 'infrastructure first' approach to growth and development across the district, working with partners to make sure the right infrastructure is in place to support our communities**
- **Have in place arrangements with the voluntary and community sector to provide better signposting to community support, ensuring we aren't duplicating effort**
- **Implement an effective Design Code, developed with residents, ensuring that housing developments in the district meet residents' expectations on design, quality and sustainability**
- **Complete the city centre regeneration of Lichfield on the Birmingham Road Site**
- **Bring back into use more of the 500 empty properties in our district, for the benefit of families and communities**
- **Have worked with private rental landlords and registered social landlords to increase the supply of safer, healthier and affordable rental properties**
- **Achieve 40% affordable housing on council owned sites and encourage developers to strive for the same target. The Birmingham Road Site will act as an exemplar site for good quality affordable housing**
- **Adopt a new Local Plan - to deliver much-needed housing within the district, including the consideration of a new urban settlement, to assist in alleviating existing pressures within our main towns and village areas**



Key Milestones - By 2038 we will...

- Be working towards the delivery of an ambitious new Local Plan
- Fully embed locality working across the district and devolved maximum powers to our locality partnerships
Influenced our partners to also devolve powers and funding
- Have delivered the regeneration of Burntwood, through a new town centre
- Regularly exceed our affordable homes target



Prosperous Communities



We will enable Lichfield, Burntwood and our villages to flourish

A prosperous community is one with economic wellbeing, where traditional and new business sectors succeed side by side and where innovation is commonplace and improves opportunity for all people and all areas of a place.

We want Lichfield District to be recognised as a place where business succeeds, for our entrepreneurs and businesses to thrive and for our local workforce to share in the wealth they generate.

Whilst we know our average household income in the district is high, compared to other parts of the UK, we also recognise that economic inequality is not just a regional issue, it occurs between neighbourhoods. Some of our neighbourhoods are amongst the most income deprived in England, and in 2019, 8.4% of the local population was identified as income deprived.

We want to ensure the district has a diverse and resilient economy, providing a range of varied job opportunities and progression for our residents. We want to make sure our residents, both young and old, can thrive in the district and achieve the aspirations they have for themselves and their families.

Key to creating prosperous communities is connectivity, both digital and physical connectivity. We will work with partners to look at how we can better connect our places, challenging public transport providers and partners who look after our roads to do better for our district, and maximise opportunities for active travel.

We want to be the place to set up and grow a business successfully, to provide an environment where our natural entrepreneurs and micro-businesses flourish and are enabled to grow at a pace which is safe for them. We will work with private and public sector partners to invest in new units to help businesses grow sustainably and encourage more sustainable rental rates. Our ambitious new Local Plan will clearly define employment land opportunities across the district.

It is vital we continue to enhance the vibrancy of our town centres, rural communities and the city centre and further improve their local and national reputations as great places to work, live and visit. In the 'Together We' consultation you told us what you wanted to see more in the district, 26% of respondents wanted to see more retail space, 17% wanted to see more leisure options and 15% wanted to see more creative spaces.

Prosperous Communities



By 2050 we will be a district where...

- Investment in regeneration creates sustainable, vibrant high streets in Lichfield city centre and Burntwood
- Infrastructure to support business growth programmes and provide incentives is making a difference
- Economically active people, including younger people, are attracted and retained through targeted incentives
- Current key sectors have been nurtured to grow through investment and support that benefit local employment
- There are a range of transport options in place that help to connect our places
- Individuals' business-ready skills, knowledge and experiences are improved to enable sustainability of new enterprises
- Investment from new markets and sectors has been attracted (e.g. digital, technology, knowledge, data and green economies) into our district, creating new employment opportunities
- Retail, Hospitality, and Leisure providers are supported to be attractive career choices for people
- Training providers and statutory bodies are challenged to provide the skills local business needs so they can recruit locally
- Public sector partners are encouraged to utilise the social value levers they have available to them

Prosperous Communities



Key Milestones - By 2028 we will...

- Be concluding delivery of the targeted Action Plan for Burntwood
- Have delivered temporary 'Meanwhile' activities on the Birmingham Road Site, including vibrant new incubator retail, office, food and beverage space alongside outdoor theatre and cinema
- Successfully have used the new cinema for Lichfield city centre, including food and beverage space, as a catalyst to regenerate the whole Birmingham Road Site
- Enjoy a vibrant, young, new residential zone on the Birmingham Road Site, with public open space as places people choose to gather
- Have supported delivery of infrastructure such as GP, schools and roads, to be in place to meet our growing needs
- Worked with public transport providers to improve the offer across the district

Key Milestones - By 2038 we will...

- Have opened up Market Street / Bird Street Car Park to new retail outlets and views of the Minster Pool and Cathedral
- Have fully deliver Burntwood regeneration



Active Communities

We will make Lichfield District the most active in the UK

Page 131

The evidence for the benefits of being active is overwhelming; it prevents a range of illnesses, improves our wellbeing, and helps people to manage certain health conditions better. Being active and living a healthy lifestyle was important to most respondents of the 'Together We' consultation, who identified better facilities and more group activities as things that would help them be more active. For older people, a healthy lifestyle can have a significant impact on staying independent for longer. Supporting and encouraging children and young people to be more active and have a healthy lifestyle has wide-ranging impacts, including essential key skills such as teamwork, resilience and creating good habits for life.

We know around 38% of adults and 60% of children and young people in our district are not active for recommended weekly levels and we want to change this. We want the very best sports and leisure facilities in our district. But, it's not just about sports, we also need to encourage more community gardens, farms and allotments, and to work with our schools to maximise the benefits of clubs and activities they offer.

Active communities are places where everyone can access the activities and facilities that suit them, whether they are a competitive athlete, or someone who is starting out to get moving and improve their wellbeing, and everything in-between. We will empower and encourage everyone (our partners, including the voluntary and community sector, and our communities) to set up and grow more local community sports and leisure provision, creating a vibrant network of activities and facilities across the district.





Active Communities

By 2050 we will be a district where...

- Physical activity has increased, with people being more active, more of the time, showing a demonstrable improvement in the levels of activity undertaken
- The social and wellbeing benefits of living a healthy lifestyle are celebrated and built on
- Barriers to participation for people experiencing inequality for health, socio-economic or gender reasons are reduced
- Annual large-scale physical activity events, including walking, running, cycling and swimming, across the district are delivered and appeal to a wide-range of people
- Physical activity as an effective preventative and treatment option for long-term conditions, mild depression and anxiety is embedded
- Advice and guidance on leading a healthy and active lifestyle is systematically available and targeted to the right people
- The full potential of our parks and green spaces is activated for health and wellbeing
- A network of high-quality leisure and recreational facilities and community groups exists to provide equitable, affordable access for all

Active Communities



By 2028 we will...

- Deliver a new leisure centre in north Lichfield, at Stychbrook Park
- Regularly utilise our parks and green spaces as key locations for active lives, park sports, health walks etc
- Introduce a small grants scheme to help fund new initiatives that will improve health and wellbeing
- Champion more family focused opportunities that engage the whole family
- Introduce a new Residents Advantage Card scheme, providing discounts off arts and entertainment, leisure, sports and other activities
- Invest in and introduce new leisure facilities across the district – inc. adventure golf, climbing wall, padel tennis, obstacle course racing
- Build stronger links with the district GP surgeries and schools to work together to increase and sustain participation among all groups with targeted interventions
- Have a vibrant network of local community groups and clubs that support residents to be more active
- Utilise our locality partnerships to harness the power of local communities to support health and wellbeing more effectively

By 2038 we will...

- Increase the amount of green space in the district to promote healthier lifestyles.
- Be nationally renowned for the quality of offer at our local authority run leisure centres.
- Increase activity levels of adults and children.
- Reduce the participation gap between different groups that currently face inequalities

Green Communities



We will create the greenest district in the country

Page 134

There is no denying, we need nature. Healthy green spaces can clean our air, water, soil, and future-proof farming. Restoring nature is vital for our future and economy, whilst providing invaluable spaces for wildlife to thrive and people to enjoy. 96% of respondents to the 'Together We...' consultation said the environment was important to them. For children and young people in our district, this is a real priority.

Climate change is the most critical challenge we face. We recognise a need to radically re-think how the district works and lives to become carbon neutral by 2050. We will lead by example as a District Council, transforming our own operations. We will influence and encourage our partners, businesses, and residents to do their part, and work alongside them to reduce and reverse the implications of climate change we already experience. This will include working in partnership to create greener homes across the district, supporting sustainable development and encouraging new and emerging green industries.

Green communities are committed to the whole of the environment not just climate change; they have strong wildlife recovery, vibrant biodiversity, development that protects and enhances nature, and networks of sustainable travel routes connecting communities. We will work to incorporate consideration for the climate and environment across all our operations and agree priorities for nature recovery locally where we will map and outline projects to create and improve habitat for nature and wider environmental goals.

We will work with residents and businesses to reduce the amount of waste produced by the district, whilst increasing the amount that is reused or recycled. 77% of respondents to the 'Together We...' consultation felt recycling and waste disposal was an environmental issue of most concern. We will change and adapt how we collect and dispose of our waste, seeking opportunities to make our operations carbon neutral, and innovative approaches to generate energy from our waste.



Green Communities



By 2050 we will be a district where...

- Carbon neutrality is achieved district-wide, reducing the impact and implications of climate change on the district
- Housing across the district, both new and old, supports our ambitions to be the greenest district in the country
- Nationally, we are renowned for enhancing and protecting our natural environment
- Lowland heathland and associated habitats connecting Cannock Chase to Sutton Park are restored
- Two new nature reserves, a series of pocket parks and wildlife ponds have been introduced
- Living green spaces on roofs, walls and bus stops have been introduced and increased
- The tree canopy across the district has been extended and more street trees are introduced to our urban areas
- River Restoration has been explored and introduced, connecting rivers and waterbodies back to floodplains
- Species with local provenance have been reintroduced i.e., white-clawed crayfish, water voles, other scarce species



Green Communities

By 2028 we will...

- Identify and agree the location of two sites suitable to develop new nature reserves
- Introduce a green corridor between Burntwood and Lichfield to support sustainable travel
- Have a robust district-wide Carbon Reduction Plan in place and being delivered with our partners
- Increase the rate of recycling in the district to more than 65%, whilst reducing our overall waste
- Introduce a food waste service and have in place plans to generate more energy from our waste
- Create a live digital dashboard on our environmental performance, so that we can encourage all to do their bit to tackle climate change
- Articulate our strong commitment to sustainable housing and development, environmental protection and enhancement through our new Local Plan
- Introduce a number of green streets, which include additional street trees, bee bricks and bird boxes
- Have electric charging points available on key off-street car parks

By 2038 we will

- Deliver the first new nature reserve in the district
- Have reduced or mitigated the council's carbon emissions to a net zero position by 2035
- Have supported the re-introduction of Lichfield Canal
- Enable more green corridors for commuting and travel



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Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Confident Communities – We will be the place where people across the UK aspire to live					2028 Milestones							
Year 1 2024/25 Actions	Quarter 1	Quarter 2	Quarter 3	Quarter 4	Infrastructure first	Work with voluntary and community sector	Effective Design Code	City Centre Regeneration	Bringing empty properties back into use	Supply of safe, healthy and affordable rental properties	Affordable housing on council owned sites.	New Local Plan
Launch LDC's 2024-27 Community and Voluntary Sector Funding programme, making a positive impact on our communities.	Funding programme launched, and quarterly monitoring of outcomes.	Quarterly monitoring of outcomes	Quarterly monitoring of outcomes	End of year report on outcomes								
Establish a food partnership network, bringing together partners to tackle food poverty and collaborate	Initial priority actions agreed and commenced											
Work with CASES to deliver a joined-up advice and signposting service	Joint Action Plan developed			Delivery of a number of priority actions								
Adopt a Lichfield District Design Code, a Supplementary Planning document (SPD)	Statutory public consultation	Results of the consultation	Adopt and launch									
Demolition of the MSCP and retail units complete		Demolition works started	Demolition works complete									

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Confident Communities – We will be the place where people across the UK aspire to live					2028 Milestones							
Year 1 2024/25 Actions	Quarter 1	Quarter 2	Quarter 3	Quarter 4	Infrastructure first	Work with voluntary and community sector	Effective Design Code	City Centre Regeneration	Bringing empty properties back into use	Supply of safe, healthy and affordable rental properties	Affordable housing on council owned sites.	New Local Plan
Meanwhile use space open		Landscaping on site starts		Meanwhile use open								
Cinema and plaza construction underway	Preferred contractor selected		Cinema construction starts, plaza complete									
Old Ford Site sold and development work started	Final bids submitted BRS design code approved	Preferred bidder identified		Sale and planning application approved Development works to start								
Engage with the top 80 empty properties, both commercial and residential, to understand the barriers and blockages and work with them to bring as many as possible back into use	Engage with 20 empty properties	Engage with 20 empty properties	Engage with 20 empty properties	Engage with 20 empty properties								

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Confident Communities – We will be the place where people across the UK aspire to live					2028 Milestones							
Year 1 2024/25 Actions	Quarter 1	Quarter 2	Quarter 3	Quarter 4	Infrastructure first	Work with voluntary and community sector	Effective Design Code	City Centre Regeneration	Bringing empty properties back into use	Supply of safe, healthy and affordable rental properties	Affordable housing on council owned sites.	New Local Plan
Using intelligence from engaging with empty properties develop a new empty properties strategy				New Strategy and Action Plan in place								
Lobbying of registered social landlords to increase the supply of affordable rental properties	Quarterly review meetings in place											
Develop a plan of further actions to increase the supply of affordable rental properties				Plan in place								
Lobbying of registered social landlords to improve the conditions and maintenance of properties	Quarterly review meetings in place											
Improved inspection rates for private rental complaints.	New role in place to tackle											
Developed and launched a new Homelessness and Rough Sleeping Strategy 2025-2030				Strategy approved								

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Confident Communities – We will be the place where people across the UK aspire to live					2028 Milestones							
Year 1 2024/25 Actions	Quarter 1	Quarter 2	Quarter 3	Quarter 4	Infrastructure first	Work with voluntary and community sector	Effective Design Code	City Centre Regeneration	Bringing empty properties back into use	Supply of safe, healthy and affordable rental properties	Affordable housing on council owned sites.	New Local Plan
LWMTS to intervene to deliver more temporary accommodation across the district				Additional units delivered								
Complete the first year of our Local Plan Delivery Plan, including a call for sites and updated several pieces of key evidence.	Call for sites to conclude. Publish schedule of sites	Progress evidence and first consultation	Undertaken Issues & Options consultation	Report on Options consultation.								
Launched our new Strategic Infrastructure Group to monitor s106 and community infrastructure Levy (CIL)	First meeting of SIG to convene.	Publish Infrastructure Funding Statement	Hold bidding round for CIL monies. Progress and updated Infrastructure Delivery Plan	Allocation of CIL monies to projects and monitoring of delivery.								
Implemented a new approach to major developments to agree more S106s 'up front' with a focus on securing the right infrastructure investment	New approach 'goes live'											

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Confident Communities – We will be the place where people across the UK aspire to live					2028 Milestones							
Year 1 2024/25 Actions	Quarter 1	Quarter 2	Quarter 3	Quarter 4	Infrastructure first	Work with voluntary and community sector	Effective Design Code	City Centre Regeneration	Bringing empty properties back into use	Supply of safe, healthy and affordable rental properties	Affordable housing on council owned sites.	New Local Plan
Lobbying of key infrastructure partners to ensure the views of the district are heard	Ongoing											

A number of key outcome performance measures have been identified, and where in place, an initial baseline has been provided. During the first half of 2024/25, targets will be established up until 2027/28.

Confident Communities – Outcome Performance Measures	Baseline
Increase the number of voluntary and community sector organisations in the District	Estimated 542 voluntary organisations delivering in the district. Source: Support Staffordshire , 2021
Increased satisfaction with the District as a place to live	Baseline to be established in 24/25
Increased % of residents who feel they can include decisions on things that matter to them	Baseline to be established in 24/25
Decrease in the average waiting time on the Housing Register	2022-23 average waiting time was 166 days. Source: LDC

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Increase in the number of major planning applications where S106s are agreed in advance	Info requested from Planning
Achieve the AMR % of affordable homes delivered on new housing sites	Annual Monitoring Return(AMR) requires a minimum of 28% in 2023-24. The %age changes each year per the dynamic model.

DRAFT

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Prosperous Communities – We will enable Lichfield, Burntwood and our villages to flourish					2028 Milestones					
Year 1 2024/25 Actions	Quarter 1	Quarter 2	Quarter 3	Quarter 4	Action Plan for Burntwood	'Meanwhile' activities on the Birmingham Road Site	Birmingham Road Site regeneration	Residential zone on the Birmingham Road Site	Infrastructure	Public transport
Engaged with stakeholders to develop Burntwood masterplan and capital bids put forward as part of MTFS	Commission masterplan		Draft masterplan and capital implications understood	Capital funding bids put forward						
Demolition of the MSCP and retail units will be complete and meanwhile use space open.	Demolition contract award and preparation/ mobilisation of demolition site	Demolition works and landscaping on site start date.	Demolition complete	Meanwhile use space open						
Cinema and plaza construction underway	Preferred contractor selected		Cinema construction starts, plaza complete							

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Prosperous Communities – We will enable Lichfield, Burntwood and our villages to flourish					2028 Milestones					
Year 1 2024/25 Actions	Quarter 1	Quarter 2	Quarter 3	Quarter 4	Action Plan for Burntwood	'Meanwhile' activities on the Birmingham Road Site	Birmingham Road Site regeneration	Residential zone on the Birmingham Road Site	Infrastructure	Public transport
Old Ford Site sold and development work started	Final bids submitted BRS design code approved	Preferred bidder identified		Sale and planning application approved Development works to start						
Launched our new Strategic Infrastructure Group to monitor s106 and community infrastructure Levy (CIL)	First meeting of SIG to convene.	Publish Infrastructure Funding Statement	Hold bidding round for CIL monies. Progress and updated Infrastructure Delivery Plan	Allocation of CIL monies to projects and monitoring of delivery.						
Implemented a new approach to major developments to agree more S106s 'up front' with a focus on securing the right infrastructure investment	New approach 'goes live'									
Lobbying of key infrastructure partners to ensure the views of the district are heard	Ongoing									

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Prosperous Communities – We will enable Lichfield, Burntwood and our villages to flourish					2028 Milestones					
Year 1 2024/25 Actions	Quarter 1	Quarter 2	Quarter 3	Quarter 4	Action Plan for Burntwood	'Meanwhile' activities on the Birmingham Road Site	Birmingham Road Site regeneration	Residential zone on the Birmingham Road Site	Infrastructure	Public transport
Utilise the regeneration of the City Centre to lobby public transport providers for improved services	Engage SCC									

A number of key outcome performance measures have been identified, and where in place, an initial baseline has been provided. During the first half of 2024/25, targets will be established up until 2027/28.

Prosperous Communities – Outcome Performance Measures	Baseline
Increase the number of business start ups	440 Births of New Enterprises 2022 (Source)
Improve business survival rates	39.4% businesses survived 5 years after birth. 2017 – 2022 (Source)
Increased adult skills levels	NVQ L4+ adult qualifications – 33.6%, 2021 Source Nomis
Improved educational attainment of young people	GCSEs (and equivalent) in English and Maths by age 19 - 76.61% 2021 Source: Dept for Education

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Active Communities – We will make Lichfield District the most active in the UK					2028 Milestones								
Year 1 2024/25 Actions	Quarter 1	Quarter 2	Quarter 3	Quarter 4	New leisure centre	Utilise our parks and green spaces	Small grants scheme	More family focused activities	New Residents Advantage Card scheme	New leisure facilities	Build stronger links with GP surgeries and schools	Network of community groups and clubs	Power of local communities
Leisure centre construction work commenced.	Detailed cost plans developed			Work onsite commenced									
Delivering and developing our Active Lichfield Health and wellbeing programme in local communities and with partners	Quarterly monitoring	Quarterly monitoring	Quarterly monitoring	Quarterly monitoring									
Developed a proposal for a small grants scheme and submitted as part of MTFS process				Proposal developed and submitted as part of MTFS									
Delivery of UKSPF funding Play Streets, creating safe spaces for children and families to play freely together on their doorstep		Initial pilots in place by Summer											
Hello Velo – pop up street velodrome in Lichfield and Burntwood	Annual Hello Velo delivered												

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Delivery of Community Games in partnership with Inspire Activity	Annual Community Games delivered																			
Provide more opportunities for families to be physically active together	Consultation on demand and gaps	Produce a programme of activities	Quarterly monitoring	Quarterly monitoring																
Scoped out options for implementing a Residents Advantage Card			Options developed																	
Adventure golf delivered		Delivered by Q2																		
Climbing wall delivered				By end of year																
Padel tennis			Delivered by Q3																	
Delivery of Getin2it Programme for young people, offering positive activities and opportunities, in partnership with partners and schools	Ongoing																			
Delivery of UKSPF Let's Get Physical Programme will local primary schools	Ongoing																			
Delivery of Getin2it Volunteer Programme	Ongoing																			

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Making funding available via LDC’s 2024-27 Community and Voluntary Sector Funding programme, making a positive impact on our communities.	Funding programme launched, and quarterly monitoring of outcomes.	Quarterly monitoring of outcomes	Quarterly monitoring of outcomes	End of year report on outcomes												
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A number of key outcome performance measures have been identified, and where in place, an initial baseline has been provided. During the first half of 2024/25, targets will be established up until 2027/28.

Active Communities – Outcome Performance Measures	Baseline
Increase adult physical activity rates	Participation Baseline – Adults – Inactive (less than 30mins per week) 24.2% Fairly Active (30-149mins per week) 14.2% Active (at least 150 mins per week) 61.6%
Increase physical activity rates amongst children	Children- Less active (less than 30mins per day) 32.8% Fairly Active (An average of 30-59mins per day) 25.3% Active (An average of 60+mins per day) 41.8%
Increased usage of parks and green spaces	4.2m visitors to Beacon Park in 2022-23 (Source: internal visitor reporting) Baseline to be established in 24/25
Increase usage of our arts and culture attractions	Baseline to be established in 24/25

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Green Communities – We will create the greenest district in the country					2028 Milestones								
Year 1 2024/25 Actions	Quarter 1	Quarter 2	Quarter 3	Quarter 4	Two new nature reserves	Greenway	Carbon Reduction Plan	Increase recycling rate	Food waste service	Digital dashboard	New Local Plan	Green streets	EV charge points
Identified and agreed a number of LDC-owned sites to put forward as a biodiversity offset sites / future habitat bank.		First tranche agreed											
Scoped out potential locations for new nature reserves				Locations scoped									
Work to ensure that Lichfield Greenway between Lichfield and Burntwood is opened to walkers and cyclists.	Start clearance works.	Lease Agreement in place.	Complete clearance works.										
LDC revised organisational carbon reduction plan in place and being delivered.	Plan in place	Quarterly monitoring	Quarterly monitoring	Quarterly monitoring									
District-wide “Climate Summit” held bringing together residents, businesses and community groups and begin our district wide climate change strategy.		Climate Summit held		First draft District Strategy									
District-wide recycling campaign to encourage behaviour change	Ongoing	Ongoing	Ongoing	Ongoing									

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Significant progress toward implementing food waste collection by March 2026				Robust plan in place															
Our environmental digital dashboard will be launched, displaying LDC carbon emissions to inform and direct future initiatives.	Initial carbon emissions dashboard published	Addition of further environment metrics	Data updates	Data updates															
Development of new Local Plan	Call for sites to conclude. Publish schedule of sites	Progress evidence and first consultation	Undertaken Issues & Options consultation	Report on Options consultation.															
Utilising Biodiversity Net Gain as an opportunity for investment in street trees, bee bricks and bird boxes				First green streets in place															
Working with County Council to have a county-wide EV strategy in place that meets the Districts needs				Strategy in place															
Agreed best use of LDC EV capital monies				Agreed plan															

A number of key outcome performance measures have been identified, and where in place, an initial baseline has been provided. During the first half of 2024/25, targets will be established up until 2027/28.

Appendix C – Draft Lichfield District 2050 Strategy Year 1 Delivery Plan

Green Communities – Outcome Performance Measures	Baseline
Increase recycling rates	44.3% (of household waste sent for reuse, recycling or composting) 2022/2023 (source)
Reduce LDC carbon emissions	1030.43 tCO ₂ e 2021 (Source: Internal Carbon Baseline Calculations)
Reduce District-wide carbon emissions	Not available. Baseline to be established in 24/25

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SECURING AN ANCHOR F&B TENANT FOR THE CINEMA COMPLEX

Deputy Leader and Cabinet Member for Leisure, Parks & Major Projects

Date:	9 April 2024
Agenda Item:	8
Contact Officer:	Simon Fletcher, Chief Executive, Anthony Thomas, Assistant Director Finance & Commissioning and S151 Officer, and John Smith, Performance & Programmes Manager
Tel Number:	07961 202055 (SF)
Email:	Simon.Fletcher@lichfielddc.gov.uk
Key Decision?	YES
Local Ward Members	Stowe Ward – Cllr Russ Bragger, Cllr Hugh Ashton and Cllr Ann Hughes.



Lichfield
District Council

Cabinet

1. Executive Summary

- 1.1 This is the latest in a series of papers which introduces and seeks the support of Cabinet and Full Council for the development of the old Debenhams building on Bakers Lane in Lichfield, in our capacity as 50% shareholder of the Darwin Prospect LLP, the company bringing forward this major city centre development.
- 1.2 The paper introduces a proposal for securing a national brand, high-quality anchor Food and Beverage (F&B) tenant for the development, alongside Everyman Cinemas. A preferred Anchor F&B tenant has been identified and discussions with them have progressed positively. The confidential report (see confidential appendix) introduces that preferred tenant and their 'Anchor F&B tenant' brand.
- 1.3 It also introduces a need to provide a capital contribution as part of a deal to attract the tenant. It identifies that doing so is both quite normal with the type of development we are invested in, but will also significantly improve the overall quality of the new Three Spires Quarter we are seeking to develop.

2. Recommendations

- 1.1. Subject to the receipt of external assurance that the proposed Head of Terms and lease provides Best Value to the Council, Cabinet approve and delegates authority to the three Council LLP Board Representatives (Leader of the Council, Chief Executive and Chief Operating Officer) to agree on behalf of the Council that the LLP enters a lease with the tenant. The delegation is based on the Head of Terms included in the confidential report, is subject to Council approving 2.2 and resulting financial implications for the Council remaining within Approved Budgets.
- 1.2. Cabinet agree and recommends to Full Council to update the Medium-Term Financial Strategy:
 - To increase the budget in the Capital Programme by **£1,700,000** to fund the capital contribution contained within the Head of Terms. The plan is for the borrowing need created by the capital contribution to initially be funded through internal borrowing.
 - Then to:
 - a. Either allocate the first **£1,700,000** of capital receipts generated from the sale of land in the Birmingham Road Site to fund the capital contribution and negate the creation of borrowing need or;
 - b. In the event the capital receipt does not reach the **£1,700,000** level, or Council does not approve its allocation to this project, to approve the identification of budgetary savings (to maintain the level of Approved risk 'headroom') equivalent to the Central Scenario annual Capital Financing Costs by ensuring no increase in the funding gap.

- To continue the approach that the MTFS is based on a neutral (no surplus or deficit or capital receipts are included) budget position until more informed financial projections are provided through the Business Plan. Any future changes following receipt of the Business Plan will be reported in line with the Council's budget monitoring and any budget approvals will be in line with the budget framework.

3. Background

- 3.1 The Council is 50% shareholder with our partner Evolve Estates / Rookman Properties in Darwin Prospects LLP, a company created to bring forward the redevelopment of the old Debenhams building on Bakers Lane in Lichfield city centre.
- 3.2 'Three Spires Quarter', as the site is currently being marketed as, will create 22,000 sq ft of prime restaurant and leisure space, as well as a planned 'landmark rooftop restaurant' feature. The LLP has recently announced a 25-year lease to Everyman Cinema as anchor tenant who will create a four-screen cinema in the complex, the first step in bringing the building back to life. Several Food & Beverage and leisure providers are now either in discussion over terms for the opportunity or have progressed to the development of lease agreements for space. Once complete, it is expected the development will be both a catalyst for the regeneration of the Council's Birmingham Road Site and significantly further enhance the cities day and night-time economies, drawing visitors from across the district and wider region.
- 3.3 It is now the job of the LLP to attract, negotiate and lease the Food and Beverage and Leisure units that will be created by the refurbishment, which gained planning permission in January this year. The council committed **£5,313,750** in cash and assets (excluding Council Contingency and the Buy Out) as 50% shareholder, matched by our joint venture partner in the company, Evolve Estates / Rookman Properties, and this financial contribution was intended to fully fund the internal partitioning and external refit of the building per the designs submitted to Planning Committee.
- 3.4 With limited marketing to date, the site has already gained significant interest from the commercial sector, evidenced by four of the five F&B / Leisure units now being in discussion over terms or lease arrangements. One of the four organisations in discussion with the LLP is a nationally recognised F&B operator and it is their interest that is the focus of this paper.
- 3.5 The tenant is the operator of a number of pubs, bars and restaurants across the UK, including well-known names. It is one of these brands that they would like to bring to the Three Spires Quarter.

Who are Anchor F&B tenant?

- 3.6 The finer details of the Anchor F&B provider are set out in more detail in points 3.6 -3.11 in the confidential report
- 3.7 The company is a multi-award-winning operator of some of the most innovative bar & restaurant brands in the UK, offering uniquely immersive drinking and dining experiences.
- 3.8 The company boasts many venues with ambitious plans for growth and has been recognised across the industry, holding accolades from The Casual Dining Awards, The Publican Awards and The Restaurant & Bar Design Awards.
- 3.9 In addition to a high quality 'lounge' experience with good food and drinks, some sites offer live music. The Lichfield site, at just under 7,000 sq ft (including a terrace) will be one of their smaller sites – a new direction they are seeking to take their brand – and as such will not be large enough to house live music.
- 3.10 Their interest in the Debenhams site has developed over several months through a series of discussions and subsequent site meetings.

- 3.11 Representatives of the LLP, including the Council's Chief Executive, have met with them twice on site in Lichfield. Key individuals from their board attended these site meeting, including the Executive Chairman and Property Director.

Is this Anchor F&B tenant a good fit for the site?

- 3.12 The Anchor F&B tenant is well-recognised as a high-quality brand throughout the UK. It continues to grow steadily, with new venues recently opened. There are several key strengths and opportunities that arise from having this Anchor F&B tenant in the Three Spires Quarter:

Brand power	This Anchor F&B tenant brand attracts other F&B and Leisure providers to a location, through its 'Halo effect'. Their interest in coming to Lichfield has already led to other F&B outfits making contact about space in the venue alongside them. This is no doubt why the LLP is so advanced with the letting process for other units and the interest the site has generated, with minimum marketing needed.
Everyman obligation	The Everyman lease has a number of obligations on the LLP contained within it. One is that at least one of a short list of eight F&B providers must be contracted alongside them.
Future proofing	It is reasonable to assume that as the site goes forward, there will be a natural turnover of F&B tenants, for various reasons. The LLP's key priority is to ensure the site continues to be a vibrant, sought after part of the city centre – and this will very much be determined by the quality of brand we have in situ. This Anchor F&B tenant, as above, draws other F&B providers to sites it operates in. Having them in the Three spires Quarter will hopefully be the difference to between our site continuing to be fully tenanted where other parts of the region struggle to attract hospitality business.
Draw	As with the imperative to be able to draw other F&B providers to the site, equally important of course, both for the site and for the vibrancy of the city centre as a whole, is our ability to draw people to Lichfield from both inside the district, the county and broader region. A brand like this Anchor F&B tenant will support this aspiration far more than an unknown, regional operator could. The experience of other towns and cities is that having this tenant located with them draws visitors from far and wide, which can only benefit the wider city economy.
Economic benefits	In addition to the temporary jobs the refit of the unit will create, in addition to those the refit activity the LLP undertakes will generate, the Anchor F&B tenant predict approx. 80 – 100 permanent additional jobs will be created on the site. More information on the type and quality of jobs will be provided as the site approaches opening.

What are the proposed Heads of Terms of the agreement for lease (AfL)?

- 3.13 The key terms being discussed, including the financial contribution from the LLP sought by the tenant, are as set out at confidential APPENDIX A.
- 3.14 **How can the capital contribution be funded?**
- 3.15 Capital contributions on schemes like this, with the type of brands we are seeking to attract are quite normal, as evidenced by the other Council's we have spoken to about the anchor F&B tenant.
- 3.16 Discussion has been held with our LLP partners, Evolve Estates / Rookman Properties, about the capital contribution needed for this deal to proceed. In December 2023, Council considered and approved a recommendation from Cabinet following a request from Evolve Estates / Rookman Properties that a Put and Call (buy-out) clause be included into the LLP agreement. This inclusion in the LLP agreement enables Evolve Estates / Rookman Properties to divest themselves of their shareholding in the LLP 2 years after practical completion of the development. For that reason only, Evolve Estates / Rookman Properties has said it would not be willing to fund any part of the capital contribution proposed by the tenant.
- 3.17 Therefore, if a capital contribution is to be made, it will fall entirely on the Council to make it. A capital contribution of this scale does not form part of the Approved Budget for this project. Therefore, approval by the Council for the LLP to enter this lease based on the draft Head of Terms in this report would result in a budgetary shortfall or borrowing need.
- 3.18 There are several options to fund this budgetary shortfall or borrowing need:
- Borrowing – internal (reduction in investments) or external borrowing – **likelihood high**.
 - Reprioritisation of the Approved Capital Programme – **likelihood low**.
 - Allocation of an element of capital receipts from the sale of land in the Birmingham Road Site – **likelihood medium**.
 - Reprioritisation of any uncommitted earmarked reserves – **likelihood low**.

Other council's with similar deals and how its gone

- 3.19 As part of the council's due diligence process, we engaged with other Local Authorities (see **paragraphs 3.19 – 3.24** at confidential **APPENDIX B**).

Financial Appraisal and Best Value

- 3.25 The draft Head of Terms for this potential second floor tenant is shown in detail above. However, there are three key areas of uncertainty related to the combined rates and service charges in the first 5 years, the level of turnover rent over the lease term and funding the capital contribution that will need to be considered in the financial modelling.
- 3.26 To understand the impact of different assumptions on financial outcomes, three financial scenarios will be prepared. These three scenarios together with the key assumptions (Rent figures are based on Aspinall Verdi projections) utilised are shown in the table below:

	Scenario			Comments
	More Pessimistic	Central	More Optimistic	
Capital Contribution	£1,700,000	£1,700,000	£1,700,000	Per the Head of Terms
Borrowing Need	£1,700,000	£1,700,000	£1,700,000	Capital contribution initially funded by Borrowing
Base Rent	(£135,000)	(£135,000)	(£135,000)	Per the Head of Terms
Annual Turnover Rent Growth	0%	3%	5%	Prudent annual levels for growth in turnover
Turnover Threshold	£1,820,000	£1,820,000	£1,820,000	Per Head of Terms
Turnover Rent	10%	10%	10%	Per head of Terms
Turnover Rent Limit	(£168,000)	(£168,000)	(£168,000)	Modelling assumption
Shortfall - Rates	£78,000	£77,000	£75,000	Base Rent as a proxy for Rateable Value
Shortfall - Service Charge	£57,000	£36,000	£15,000	Modelling assumption
Shortfall - Total	£135,000	£113,000	£90,000	Comparators - higher than Base Rent
Asset Life (years)	15.00	15.00	15.00	Period prior to the first break clause
Internal Borrowing Rate	3.50%	3.50%	3.50%	Budgeted rate for investment income

- 3.27 In this initial financial appraisal, it is assumed that the capital contribution is funded by Internal Borrowing (reducing investments) over the initial 15-years of the lease. This approach and alternative options are discussed further in the financial implications section. In Local Government, Best Value under the 1999 Act is normally demonstrated through a form of market engagement focussed on price and quality. Although the lease is between the LLP and the tenant, the Council is providing all the capital contribution and therefore Best Value must be a key consideration.
- 3.28 However, it is also possible to demonstrate Best Value through the positive socio-economic impacts from the proposal such as the level and type of jobs created, the Business Rates payable and Gross Value Added etc. and external assurance has been sought in this area.

Alternative options	<p>The council could choose to not bring the Anchor F&B tenant to Lichfield and seek alternative F&B operators to compliment the Everyman cinema brand. However, a brand like this will support the council's aspiration to be able to draw other F&B providers to the site far more than any unknown, regional operator could.</p> <p>Equally our ability to draw people to Lichfield from both inside the district, the county and broader region for the vibrancy of the city centre, is dependent on having a brand that appeals. The experience of other towns and cities is that having this F&B tenant located with them draws visitors from far and wide.</p>
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Consultation	Ward Members (see confidential report) and Overview and Scrutiny Committee.
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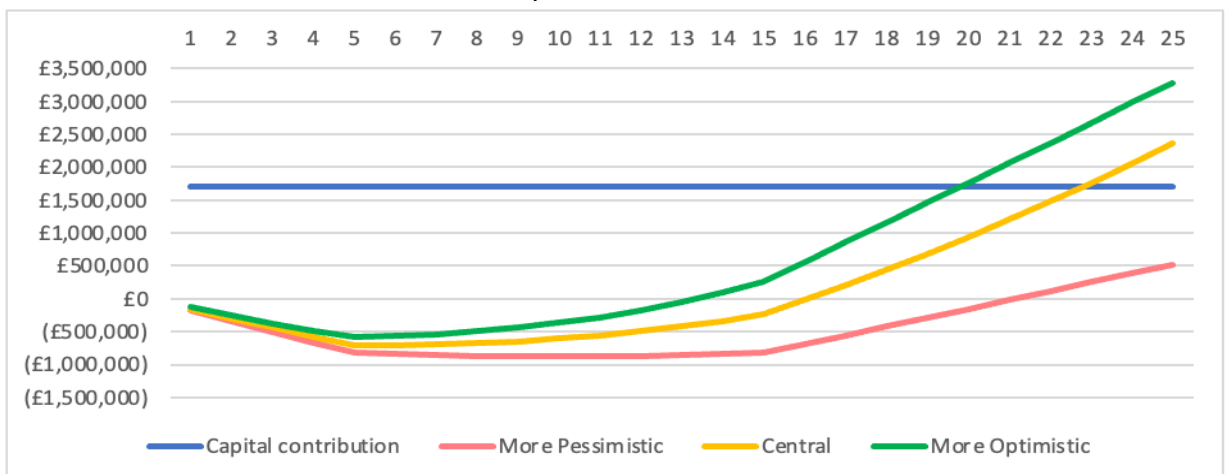
Financial implications	<p><u>The Approved Financing of the Joint Venture</u></p> <p>The Council and the partner Evolve Estates/Rookman have contributed assets and cash to the Joint Venture. The relative proportions of assets and cash together with the Council's Approved Capital Programme Budget (excluding Council Contingency and the Buy Out) are shown in the table below:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th rowspan="2"></th> <th colspan="3">Joint Venture Contributions</th> </tr> <tr> <th>LLP Budget £</th> <th>Council Budget £</th> <th>Partner Budget £</th> </tr> </thead> <tbody> <tr> <td>Total Contributions</td> <td>£10,627,500</td> <td>£5,313,750</td> <td>£5,313,750</td> </tr> <tr> <td>Asset Contributions</td> <td>£3,725,000</td> <td>£409,750</td> <td>£3,315,250</td> </tr> <tr> <td>Cash Contributions</td> <td>£6,902,500</td> <td>£4,904,000</td> <td>£1,998,500</td> </tr> <tr> <td>% Cash Contributions</td> <td>100%</td> <td>71%</td> <td>29%</td> </tr> </tbody> </table> <p><u>The Approved Medium Term Financial Strategy</u></p>		Joint Venture Contributions			LLP Budget £	Council Budget £	Partner Budget £	Total Contributions	£10,627,500	£5,313,750	£5,313,750	Asset Contributions	£3,725,000	£409,750	£3,315,250	Cash Contributions	£6,902,500	£4,904,000	£1,998,500	% Cash Contributions	100%	71%	29%
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Cash Contributions	£6,902,500	£4,904,000	£1,998,500																					
% Cash Contributions	100%	71%	29%																					

The Approved Capital Programme and Revenue Budget is shown in detail at confidential **APPENDIX A** and the elements related to the Food and Beverage element impacted by this proposal are summarised below:

- Capital Programme:
 - **Capital Contributions** - the Food and Beverage element of the Approved Budget is **£355,230** (£500,000 in the Joint Venture). This Budget will be used for Shell and Core works in the three units plus the first and second floor areas. It is prudent to assume, based on current information, this budget is largely committed. Therefore, a capital contribution of the scale in this proposal would be in addition to the Approved Budget.
 - **Rent Free Periods** – the Food and Beverage element of the Approved Budget is **£639,420** (£900,000 in the Joint Venture). Any rent-free periods are assumed to be funded by this budget.
 - **Tenant Incentives** - it is important to note that accounting requirements will mean that tenant incentives will ultimately be spread over the lease period however there will be no impact on the Approved Budget.
- Revenue Budget:
 - The Rental Income Budget is **(£600,000)** and the second-floor Food and Beverage element is **(£135,000)**.
 - Approved budgets for operating expenses are applicable to all scenarios.

Financial Modelling

The cumulative net revenue implications compared to the Capital Contribution based on three scenarios (central, more optimistic and more pessimistic) is shown in detail at confidential **APPENDIX B** and in summary below:

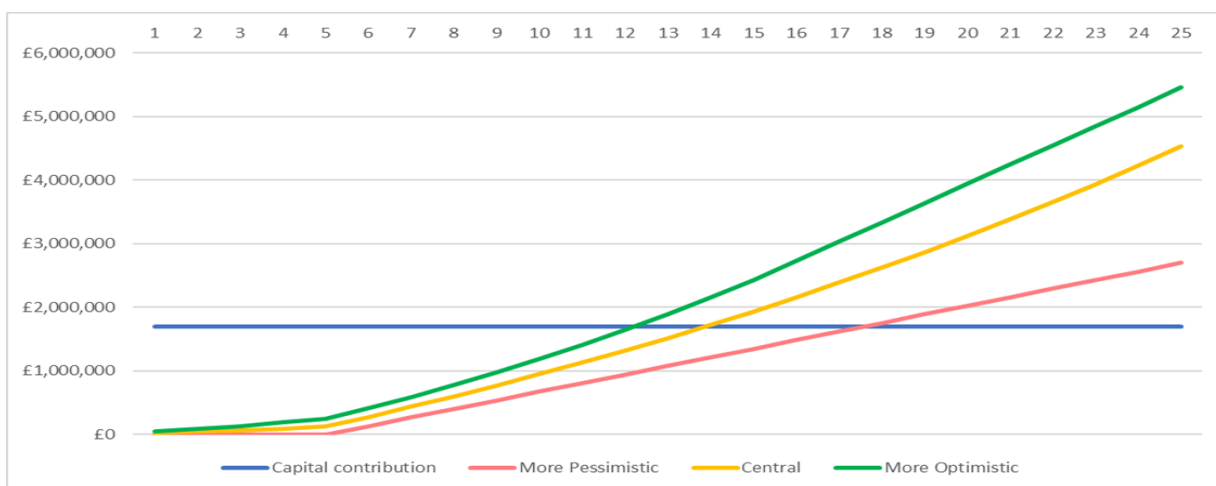


In all scenarios, in the years where costs exceed income, the projected net revenue implications are within the risk “headroom” included in the Approved Revenue Budget. Therefore there would be no adverse impact on the Medium Term Financial Strategy. The risk “headroom” would remain if the capital contribution is funded by alternative sources to borrowing.

Investment appraisal indicators are normally used to compare different options; however, they can also be used to compare the outcome of different scenarios. A range of indicators is included at confidential **APPENDIX B** and the key ones are shown below:

	Return on Investment				
	Payback Period (Years)	Initial 15 Year Period		Full 25 Year Period	
		Total Rent/Contribution	Accounting Return	Total Rent/Contribution	Accounting Return
More Optimistic Scenario	20.00	11.2%	9.5%	15.7%	12.8%
Central Scenario	23.00	9.8%	7.6%	12.0%	10.7%
More Pessimistic Scenario	34.00	7.9%	5.3%	7.9%	6.4%

The repayment of the internal borrowing over the 15-year initial period of the lease, has a significant impact on the payback period. However, if this capital contribution was funded from alternative sources such as capital receipts, reserves, or grants and contributions then the payback period would be reduced because the legally required Capital Financing Costs would not be necessary as demonstrated below:



At present, there are no uncommitted resources available to provide funding for the **£1,700,000** capital contribution. However, the Council does have some options available to improve the payback period:

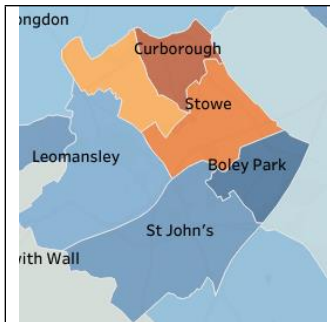
- The Council is currently marketing an element of the Birmingham Road Site. In the event this capital receipt is more than the capital contribution, **£1,700,000** could be used for funding. The estimate of capital receipts from this are of the site provided by the Council’s Property Advisors is between £4m and £5m.
- If the Council does not use this capital receipt for funding, and maintains the Approved risk ‘headroom’, then to ensure the funding gap does not increase, budgetary savings would need to be identified to offset the capital financing costs.

Approved by Section 151 Officer	Yes
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Legal implications	1. Throughout the redevelopment project for the Debenhams building, the council has retained legal advisors who have been actively engaged with creating the LLP (Darwin Prospect) and providing advice where needed on all matters associated with prospective tenants that will ultimately be incorporated into the LLP arrangement.
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Approved by Monitoring Officer	Yes
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Contribution to the delivery of the strategic plan	<ol style="list-style-type: none"> 1. This will particularly support and deliver the Council’s strategic objectives of shaping place and developing prosperity and will enhance the district to visitors. 2. Having an anchor F&B tenant situated adjacent to the cinema within the district supports our enabling people to live healthy and active lives.
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	<p>3. By taking the Best Value approach to considering the Anchor F&B tenant for our scheme shows that we're a good council that is financially sound, transparent and accountable.</p>
Equality, diversity and human rights implications	<p>1. There are no equality, diversity or human right implications associated with the proposals at this stage.</p>
EIA logged by Equalities Officer	<p>No Equalities Officer confirmed not required.</p>
Crime & safety Issues	<p>1. Crime and safety issues relevant to the development will have been explored in detail as part of the cinema planning application. As the project moves through subsequent planning and redevelopment phases these elements will be considered further to ensure the proposed scheme plays a positive role in the reduction of crime and improvement of safety.</p>
Data assessment	<p>1. The former Debenhams property where the F&B tenant is to be co-located with the Everyman cinema is in Stowe Ward and is surrounded by the areas shown below. The main components of the Social Progress Index (scores are 0 to 100 where 0 signifies worst and 100 best performance) for the Ward is summarised below:</p> <div style="display: flex; align-items: flex-start;"> <div style="flex: 1;">  </div> <div style="flex: 2;"> <ul style="list-style-type: none"> • Social Progress Index 48.8 being 20 out of 22 Wards. • Basic Human Needs 49.9 ranked 7 out of 22. • Foundations of Wellbeing 52.5 ranked 18 out of 22. • Opportunity 44.4 ranked 19 out of 22. </div> </div> <p>2. Bringing a highest quality operator such this to the city centre will undoubtedly increase the vibrancy of the area and will potentially improve some of the scoring dimensions at Ward level.</p> <p>3. Successfully opening with this operator in Lichfield city centre is expected to be far more reaching and have a positive impact on the Wider District Social Progress Index.</p>
Environmental impact (including climate change and biodiversity)	<p>1. The lease for the Anchor F&B tenant is proposed to extend for 25 years dovetailing with the cinema operator lease which is also for 25 years. Repurposing the currently vacant Debenhams anchor store unit as a cinema with high quality Food and Beverage units will give the building an expected additional lifespan of 25 years.</p> <p>2. The environmental impact of the development has been explored in detail as part of the cinema planning application that was submitted in October 2023 that was considered for approval at the council's planning committee in January 2024. Mitigation measures and conditions including any related to climate change and biodiversity will be identified and agreed as part of any planning consent.</p>
GDPR / Privacy impact assessment	<p>1. No specific implications, however, data processing arrangements will be addressed as part of the LLP Partnership Agreement.</p>

	Risk description & risk owner	Original score (RYG)	How we manage it	New score (RYG)
A	The financial projections including service charge and rates short falls are inaccurate or too optimistic leading to budget pressures	Risk: Yellow Likelihood: Yellow Impact: Yellow	Three scenarios prepared using different assumptions and recommendation is to initially adopt a budget neutral position with the MTFS. These scenarios have been informed by an independent set of advisors and are subject to approval of Joint Venture Business Plan.	Risk: Yellow Likelihood: Green Impact: Yellow
B	There is a legal challenge related to the approach to awarding the concession/procurement	Risk: Yellow Likelihood: Yellow Impact: Yellow	Legal advice has been sought throughout the project including the approach to tenancy letting. The contract is between the LLP and the tenant rather than between the Council and the tenant.	Risk: Yellow Likelihood: Green Impact: Yellow
C	There is a legal challenge related to Subsidy Control	Risk: Yellow Likelihood: Yellow Impact: Yellow	Legal advice has been sought throughout the project including the approach to tenancy letting. The contract is between the LLP and the tenant rather than between the Council and the tenant and advice has been sought from independent advisors in relation to the Head of Terms in the context of the current market.	Risk: Yellow Likelihood: Green Impact: Yellow
D	Best Value cannot be demonstrated under the Local Government Act 1999 ¹	Risk: Yellow Likelihood: Yellow Impact: Yellow	The lease with the cinema operator limits the market available to 8 food and beverage operators including the proposed Anchor F&B tenant. An analysis of the socio-economic factors provided by this operator has been prepared.	Risk: Yellow Likelihood: Green Impact: Yellow

Background documents	Report to Cabinet 11 October 2022, Council 20 October 2022 Report to Cabinet 27 June 2023, Council 11 July 2023 Report to Cabinet 5 December 2023, 12 December 2023
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Relevant web links	
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¹ The Best Value Duty relates to the statutory requirement for local authorities and other public bodies defined as best value authorities in Part 1 of the Local Government Act 1999 ("the 1999 Act") to "make arrangements to secure continuous improvement in the way in which its functions are exercised, having regard to a combination of economy, efficiency and effectiveness". In practice, this covers issues such as how authorities exercise their functions to deliver a balanced budget (Part 1 of the Local Government Finance Act 1992), provide statutory services, including adult social care and children's services, and secure value for money in all spending decisions

By virtue of paragraph(s) 3 of Part 1 of Schedule 12A of the Local Government Act 1972.

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